

DOWNTOWNER WEST SUBDIVISION,
RESUBDIVISION OF LOTS 6-10, UNIT ONE

Engineering Comments: Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Drainage from any newly constructed dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: No comments.

MAWWS Comments: No comments.

The plat illustrates the proposed 2.7± acre, 2-lot subdivision, which is located on the Southeast corner of Airport Boulevard and Downtowner Boulevard West, extending Southward to the East terminus of Downtowner Loop North. The applicant states the site is served by city water and sanitary system.

The purpose of this application is to create a 2 lot subdivision from 5 legal lots of record and reduce the required minimum building setback along Downtowner Boulevard West from 50-foot to 25-feet.

As illustrated on the preliminary plat the site is located on the Southeast corner of Airport Boulevard and Downtowner Boulevard West, extending Southward to the East terminus of Downtowner Loop North.

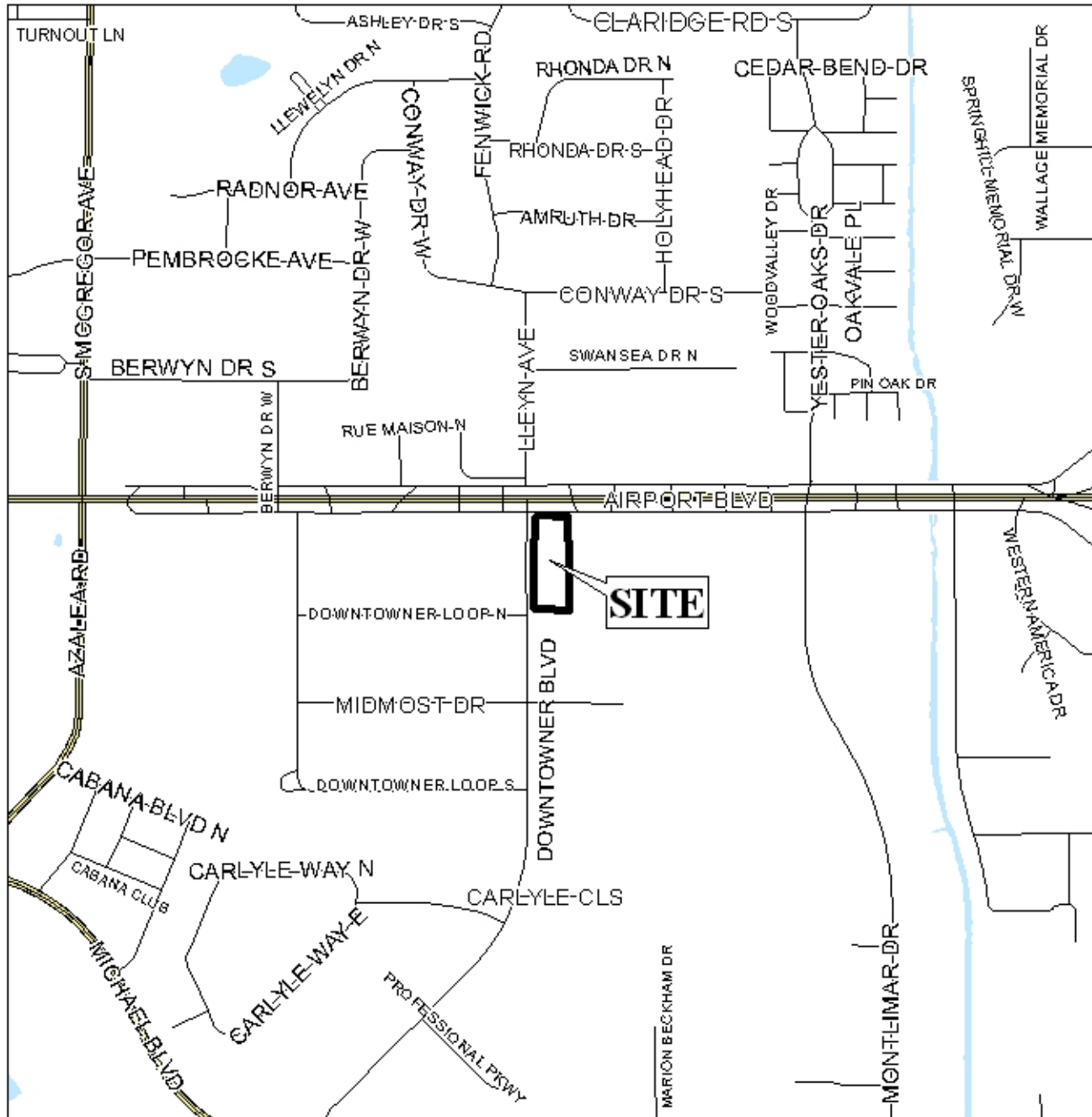
The site is bounded by Airport Boulevard, shown as a major street on the Major Street Component of the Comprehensive Master Plan, and as such requires a 200-foot right-of-way at this location, Downtowner Boulevard West requires an 80-foot right-of-way and Downtowner Loop North requires a 60-foot right-of-way. Airport Boulevard, Downtowner Boulevard West and Downtowner Loop North all comply with the standard requirements of the Major Street Component; therefore, no dedication is required along all streets.

With the site bounded by a major street and two minor street, access management is a concern; therefore, the placement of a note on the Final Plat stating that Lot 1 is limited to the existing curb cuts and that Lot 2 is allowed one curb cut to Downtowner Boulevard West and one curb cut to Downtowner Loop North, with the design, size and location to be approved by Traffic Engineering and conform to AASHTO standards.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) the placement of a note on the Final Plat stating that Lot 1 is limited to the existing curb cuts, and that Lot 2 is limited to one curb cut to Downtowner Boulevard West and one curb cut to Downtowner Loop North, with the design, size and location to be approved by Traffic Engineering and conform to AASHTO standards.

LOCATOR MAP



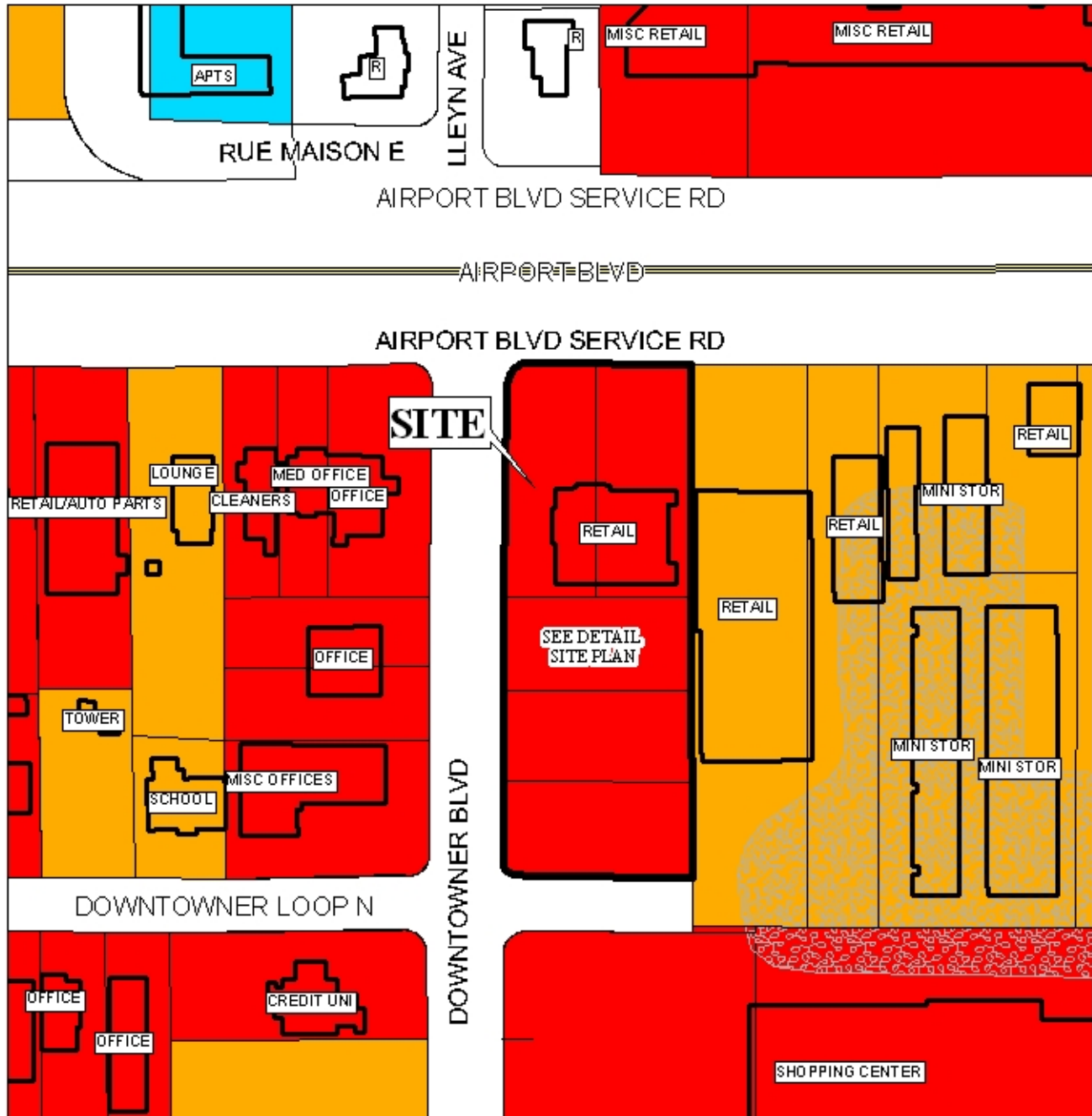
APPLICATION NUMBER 24 DATE June 4, 2009

APPLICANT Downtown West Subdivision, Resubdivision of Lots 6-10, Unit One

REQUEST Subdivision



DOWNTOWN WEST SUBDIVISION, RESUBDIVISION OF LOTS 6-10, UNIT ONE



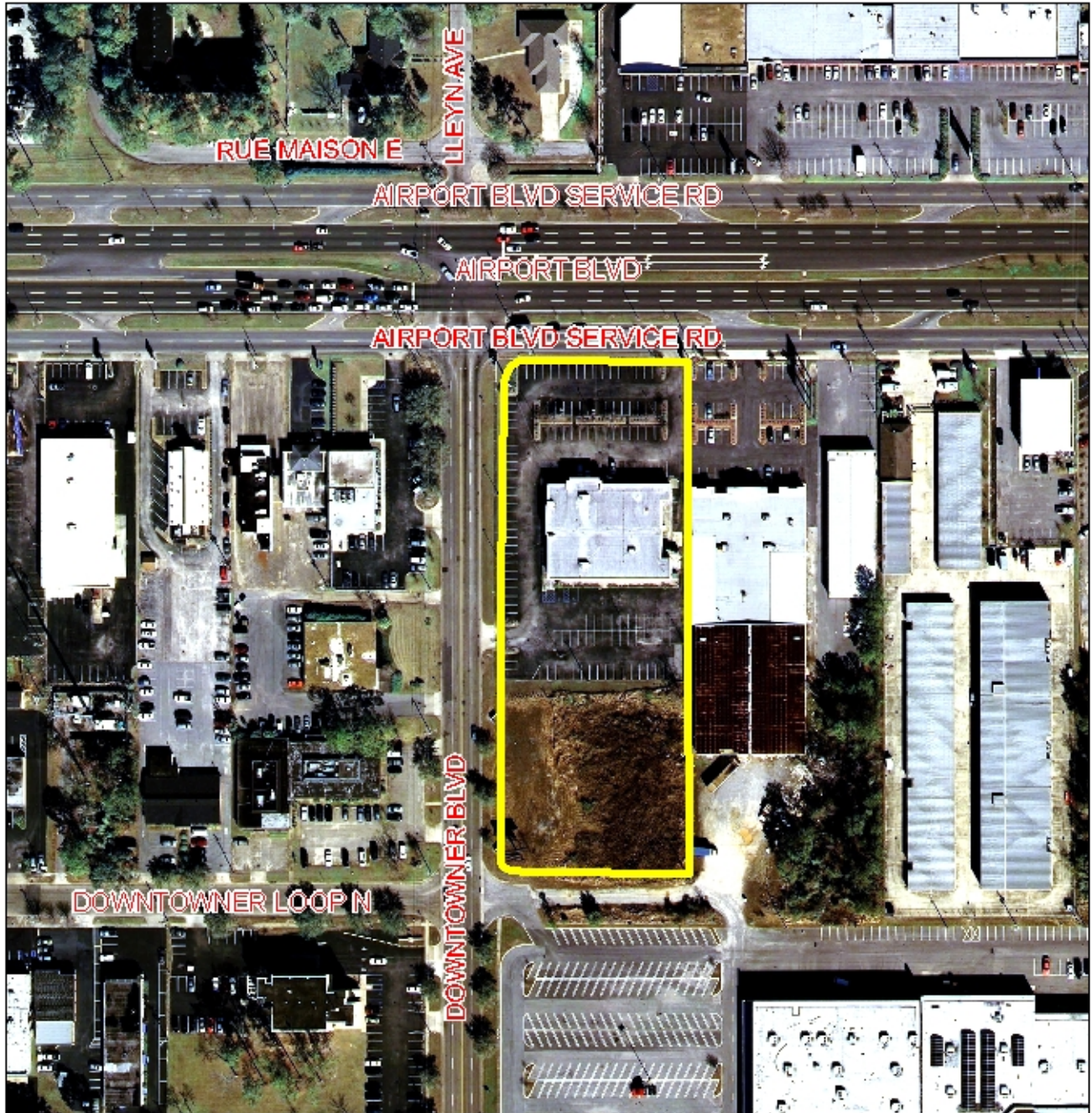
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



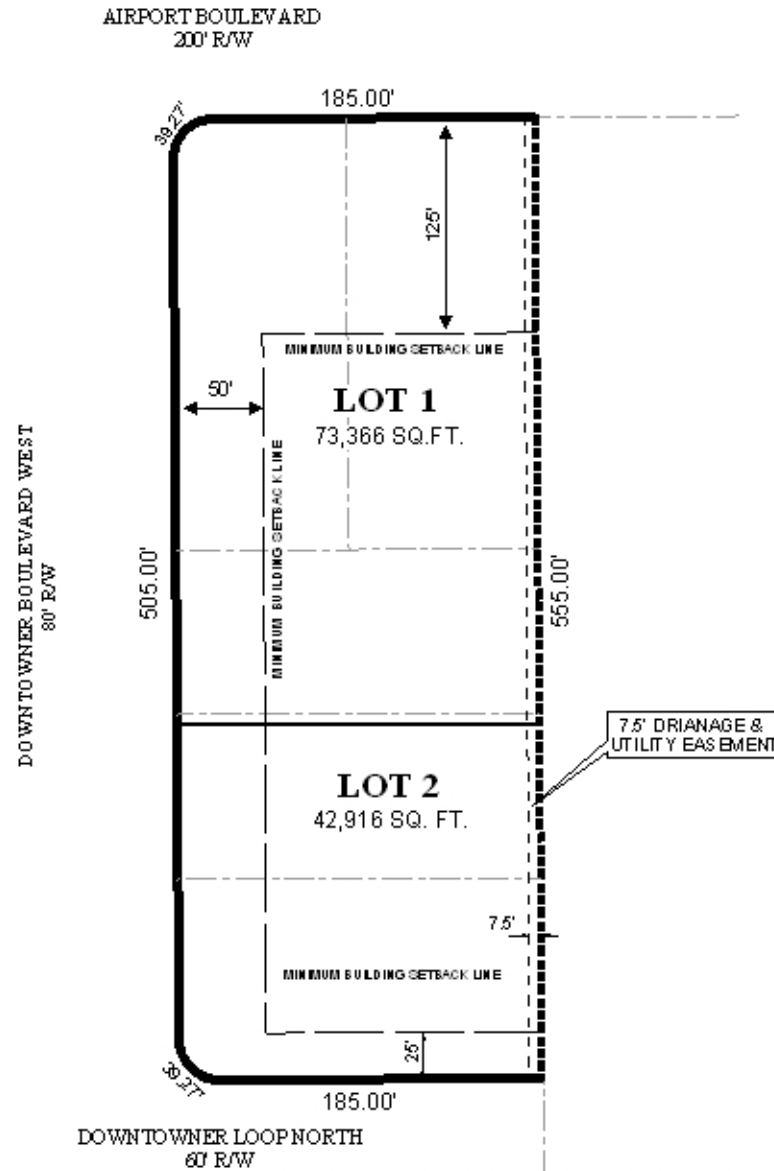
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DETAIL SITE PLAN



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 REQUEST Subdivision

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