

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: September 7, 2006****DEVELOPMENT NAME**

Willard Subdivision, First Addition, Resubdivision of Lots 3 & 4, and Resubdivision of Lots "A" & "B" of the Resubdivision of Lots 1 & 2, Lot 2

SUBDIVISION NAME

Willard Subdivision, First Addition, Resubdivision of Lots 3 & 4, and Resubdivision of Lots "A" & "B" of the Resubdivision of Lots 1 & 2

LOCATION

2760 Macmae Drive
(East and South sides of Macmae Drive at its South terminus)

**CITY COUNCIL
DISTRICT**

District 4

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

3 Lots / 9.3 \pm Acres (Subdivision)
1 Lot / 6.1 \pm Acres (PUD)

CONTEMPLATED USE

Subdivision approval to combine two lots of record into one lot and adjust existing buffer and drainage/utility easements for all included lots, and Planned Unit Development approval to allow three warehouse buildings and one office building on a single building site.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

ENGINEERING**COMMENTS**

Recommend NO reduction of drainage easements due to the existence of an outfall pipe from Macmae Drive. When the outfall requires maintenance, the full width will be required for probable excavation and vehicle access. The easement along Bolton's Branch is necessary for maintenance vehicles. In addition, the sanitary sewer easement should not be reduced without the approval of the MAWSS.

Any stormwater that currently flows across the property (from the west) must be accommodated. And the minimum finished floor elevation is required on any lot affected by the AE flood zone.

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the

COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All new structures shall comply with Section 508.5 through 508.5.6 and Appendix B, C & D section D101 through D106.2 of the 2003 IFC.

REMARKS

The applicant is requesting Subdivision approval to combine two lots of record into one lot and adjust existing buffer and drainage/utility easements for all included lots, and Planned Unit Development approval to allow three warehouse buildings and one office building on a single building site.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan will require Planning Commission approval.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

Lots 1-5 of the Willard Subdivision, First Addition, were approved by the Planning Commission at its January 8, 1987 meeting. An interior lot line adjustment between lots 1 and 2 was approved by the Planning Commission at its December 15, 2005 meeting.

The purpose of this application, as it relates to Subdivision approval, is to combine the existing lots 2 and 3 into one lot, and to reduce the 75-foot buffer strip depicted on the South and East sides of existing lots 1-4 to 10 feet along the South property line, and to varying widths along the East property line (essentially to conform to the existing drainage easement width of

approximately 20 feet). It also appears that the existing 25-foot drainage/utility easement along the North side of lot 1 will be reduced to 15 feet, and the existing sanitary sewer easement along the East side of existing lots 1 and 2 will be reduced from 20 feet to 15 feet.

Engineering has recommended that all existing drainage easements be kept at their current size. Engineering also indicates that the area generally has drainage problems, thus development on the site must fully comply with the stormwater management and flood control requirements.

The application for Planned Unit Development approval specifically relates to the new lot that will be created by the combination of existing lots 2 and 3. The site will be developed to include a 4,000 square foot office building and three 20,000 square foot warehouse buildings, for a total of 60,000 square feet of warehouse space. As designed, the development exceeds all landscaping and parking requirements, and all buildings are a minimum of 25-feet from adjacent residential development. The required stormwater detention is depicted on the site plan. It should be noted that some calculations on the site plan appear to be incorrect. It appears that the parking calculations list one parking space less than is actually depicted on the site plan. It also appears that the site plan depicts one more tree than has been included in the landscape calculations. The site plan and calculations should be revised so that they are in agreement.

Because the proposed development will exceed 40,000 gross square feet of warehouse space, an application for Planning Approval will be required. Furthermore, additional information regarding the use of the warehouse space and on-site circulation of trucks will be required as part of the Planning Approval application.

Properties to the East and South of the site under consideration are developed with single-family residential homes. The buffers depicted on the plat and on the site plan meet or exceed those required by the Subdivision Regulations and Section 64-4.D. of the Zoning Ordinance. However, maintaining at least a 25-foot buffer and providing the depicted 6-foot high privacy fence along the South property line, which would still accommodate the construction that has been proposed, is recommended. Properties to the North and West of the site are commercially-zoned.

As the proposed new development will be adjacent to existing residences, the applicant should ensure that any lighting provided on the site will comply with the Zoning Ordinance requirement that states that lighting *"shall be so arranged that the source of light does not shine directly into adjacent residential properties or into traffic."* A note should be placed on the PUD site plan reflecting the Zoning Ordinance lighting requirement.

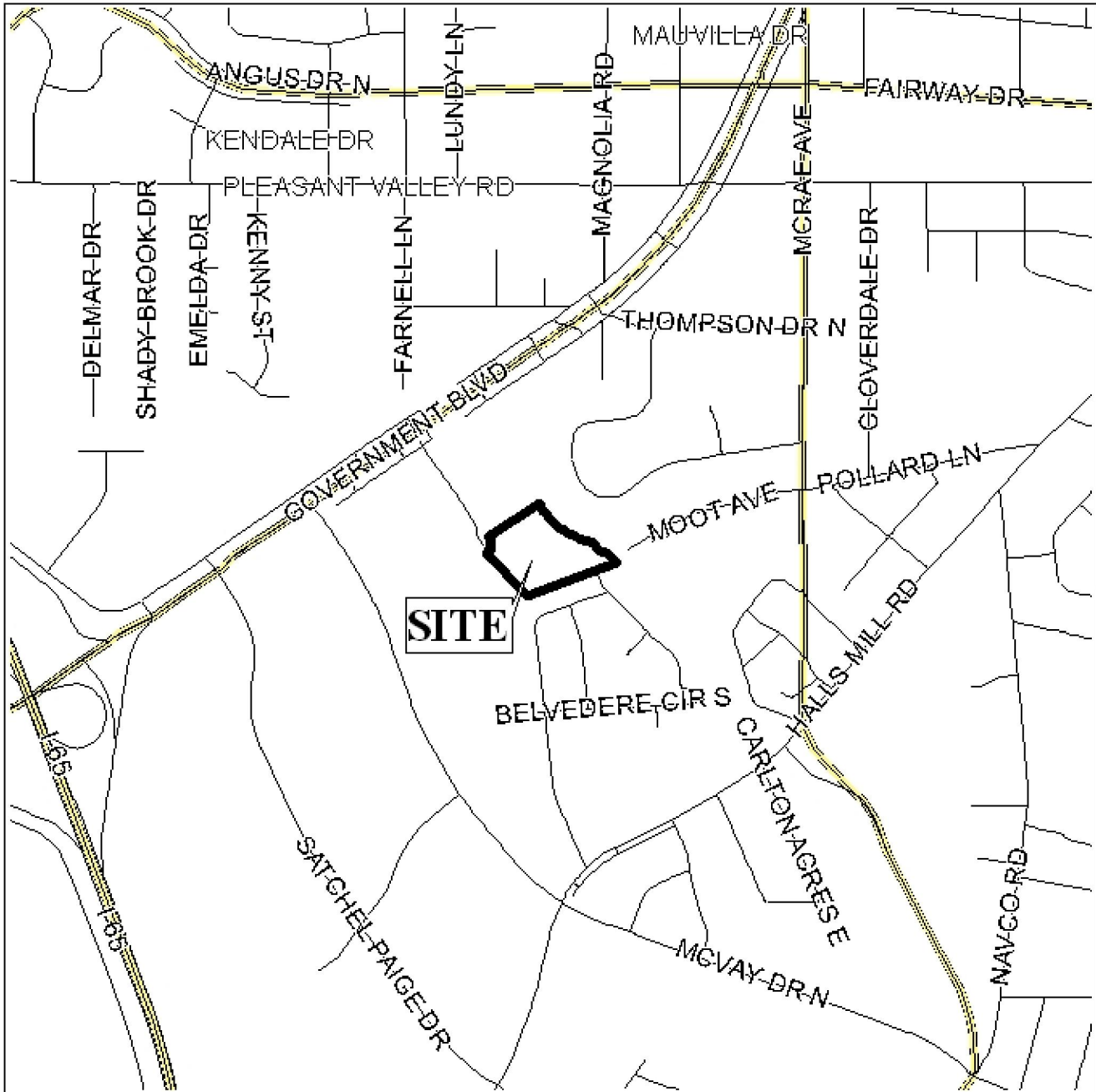
Finally, there is no indication on the site plan as to the proposed location of any dumpster or other waste storage facility. If the applicant utilizes a dumpster, the location of the storage area for the dumpster must be indicated on the site plan, and the location and required screening must comply Section 64-4.D.9. of the Zoning Ordinance, as well as with all other applicable regulations.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Holdover until the October 5th meeting to allow the applicant to submit an application for Planning Approval, to include a description of uses and on-site truck circulation, by September 11th.

Subdivision: Based upon the preceding, this application is recommended for Holdover until the October 5th meeting to allow the applicant to submit an application for Planning Approval, to include a description of uses and on-site truck circulation, by September 11th.

LOCATOR MAP



APPLICATION NUMBER 24 & 25 DATE September 7, 2006

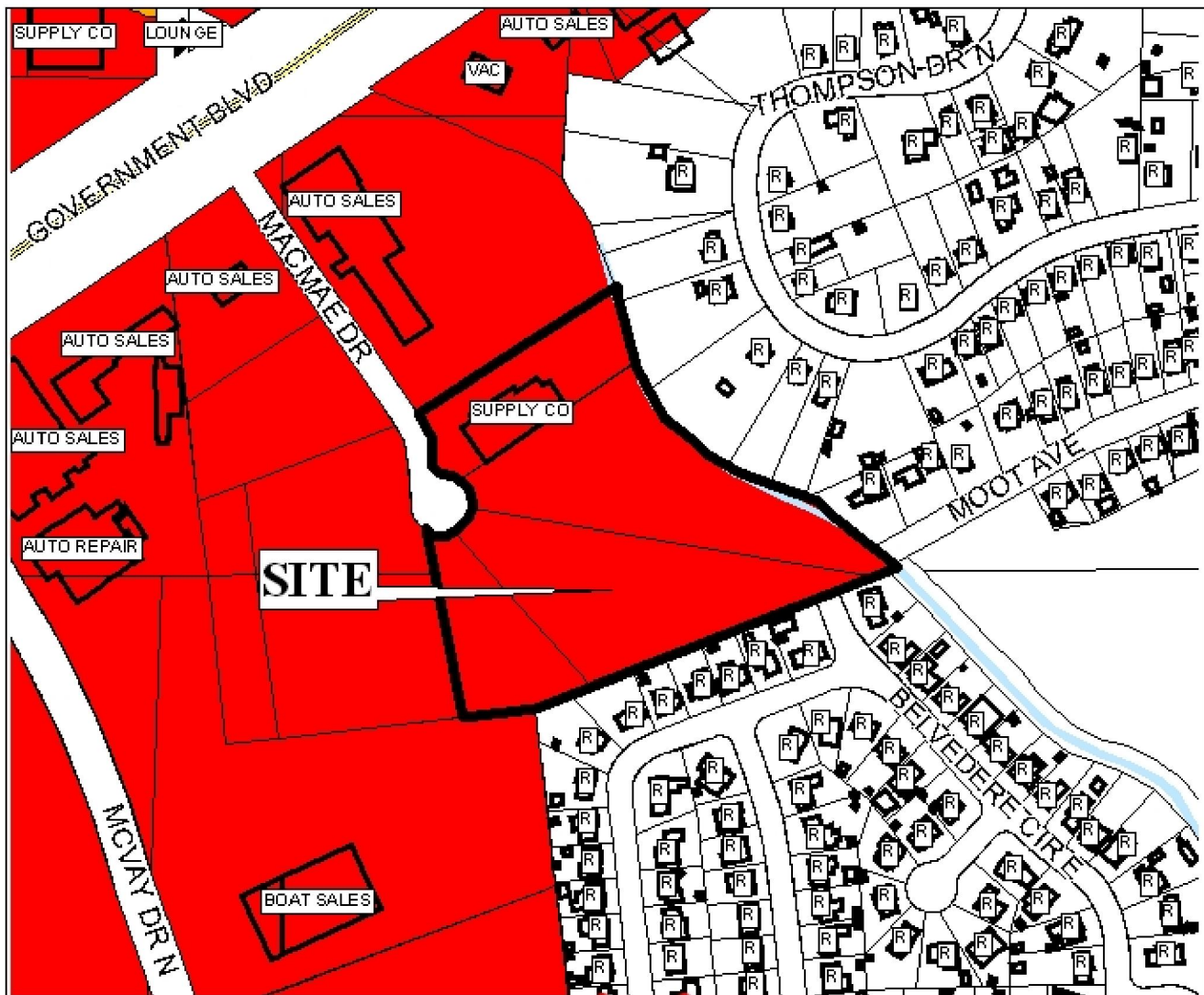
APPLICANT Willard Subdivision, First Addition, Resubdivision of Lots 3 & 4, and
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REQUEST Subdivision, Planned Unit Development



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential units are located to the south and east of the site.
Auto sales and other commercial land use is located to the west and northwest of the site.

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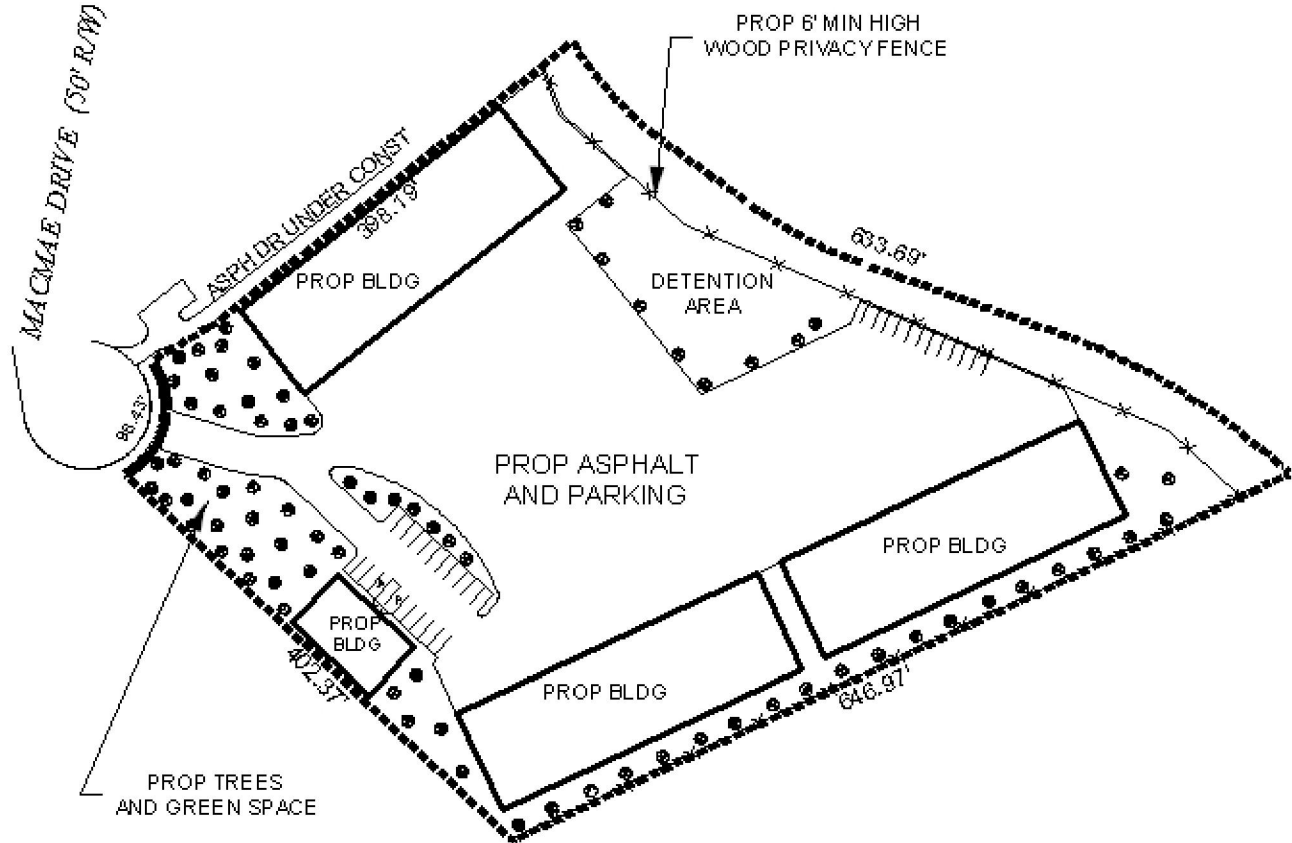
REQUEST Subdivision, Planned Unit Development

LEGEND R-1 R-2 R-3 R-A R-B H-B B-1 LB-2 B-2 B-3 B-4 B-5 I-1 I-2

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NTS

SITE PLAN



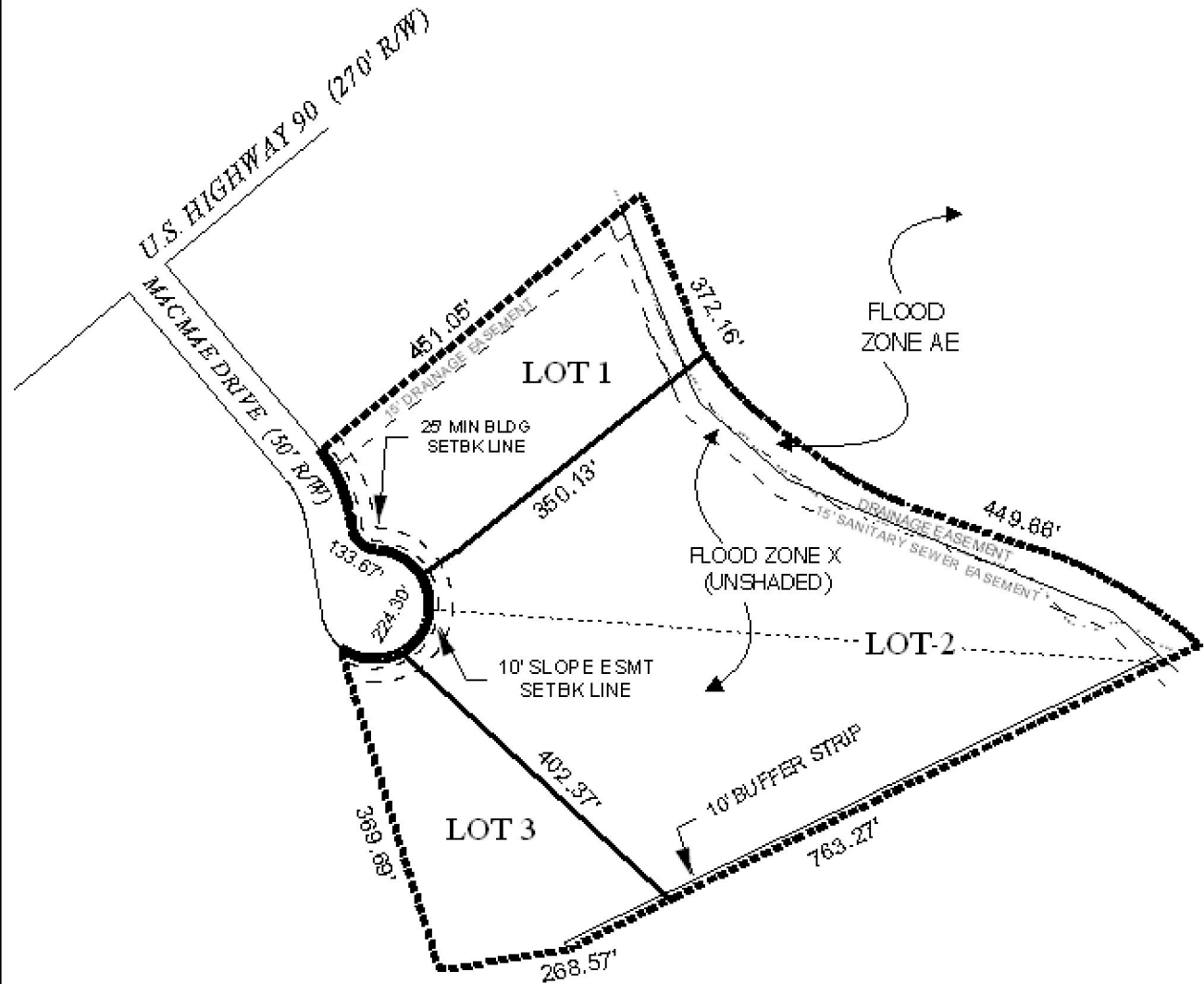
The site plan illustrates proposed buildings, asphalt, fencing, and green space.

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SUBDIVISION PLAT



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