

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: November 5, 2009****DEVELOPMENT NAME**

Grady Buick Company, Inc.

SUBDIVISION NAME

Grady Automotive Subdivision

LOCATION3025 Government Boulevard
(Southeast corner of U.S. Highway 90 and McVay Drive North)**CITY COUNCIL
DISTRICT**

City Council District 4

**PRESENT
ZONING DISTRICT**

B-3, Community Business District

AREA OF PROPERTY

2 lot / 24.2± acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site, and Subdivision Approval to create two legal lots of record from 7 metes and bounds parcel and two existing lots of record.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immeditate

**ENGINEERING
COMMENTS**

For any future development, the existing detention systems will be required be surveyed to verify capacity and functionality of the detention systems. The existing drainage structures located on Macmae Dr will be required to be analyzed to verify that there is sufficient capacity and that the system is functioning properly to receive the additional flow. Any new dumpster pads or vehicle wash facilities cannot drain to storm sewer and must have connection to sanitary sewer. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Any damaged sidewalk sections and/or driveway aprons located in the City ROW will be required to be replaced as part of any land disturbance permit.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is seeking Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site, and Subdivision Approval to create two legal lots of record from 7 metes and bounds parcel and two existing lots of record. The site is located in Council District 4, and according to the applicant is served by public water and sanitary sewer facilities.

It should be noted that the subject site has been involved in several Subdivision and Planned Unit Development applications in the past. For many years, development at the site has involved several parcels. The applicant now wishes to combine those parcels into two lots. Proposed Lot 1 contains the existing automotive dealership with several structures (PUD site); Lot 2 is also developed, but with only one structure. Since the applicant is not proposing any new development at this time, this request can be considered minor and should not affect the previous approvals.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The subdivision fronts Government Boulevard Service Road (Major Street) to the North, MacVay Drive (minor street) to the West, and Macmae Drive (minor street) to the East; all have sufficient right-of-way. No dedication is required.

As proposed, Lot 1 has approximately 760' of frontage along Government Boulevard Service Road, with 620' and 577' of frontage along MacVay and Macmae Drives respectively; Lot 2 has approximately 689' and 209' of frontage along MacVay and Macmae Drives respectively. As a means of access management, curb cutting for Lot 1 should be limited to an approved PUD site plan; Lot 2 should be limited to two curb cuts to MacVay Drive and one curb cut to Macmae Drive.

As proposed, the plat does not illustrate adequate radii where Government Boulevard Service Road intersects both MacVay and Macmae Drives. The applicant should revise the plat to comply with Section V.B.16 of the Subdivision Regulations.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

It is very important to note that Planned Unit Development review is site plan specific; therefore any future changes (parking, structure expansion, etc.) must be resubmitted for Planned Unit Development review, and be approved through the planning process.

It should be noted that Planned Unit Development application is for Lot 1 only, which contains an existing automotive dealership. The site plan illustrates all existing buildings on-site; however, it does not contain any information regarding parking, landscaping, dumpster location, etc. While it isn't necessary for *approval*, since no construction is proposed, an as-built site plan containing all pertinent information should certainly be submitted to the Planning Section of Urban Development, so that it may serve as the official PUD site plan on file. This should be done prior to signing the final plat.

As already mentioned, no new construction is proposed; the applicant is simply adjusting property lines. With that said, no additional landscaping / tree planting will be required.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Subdivision: Based upon the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

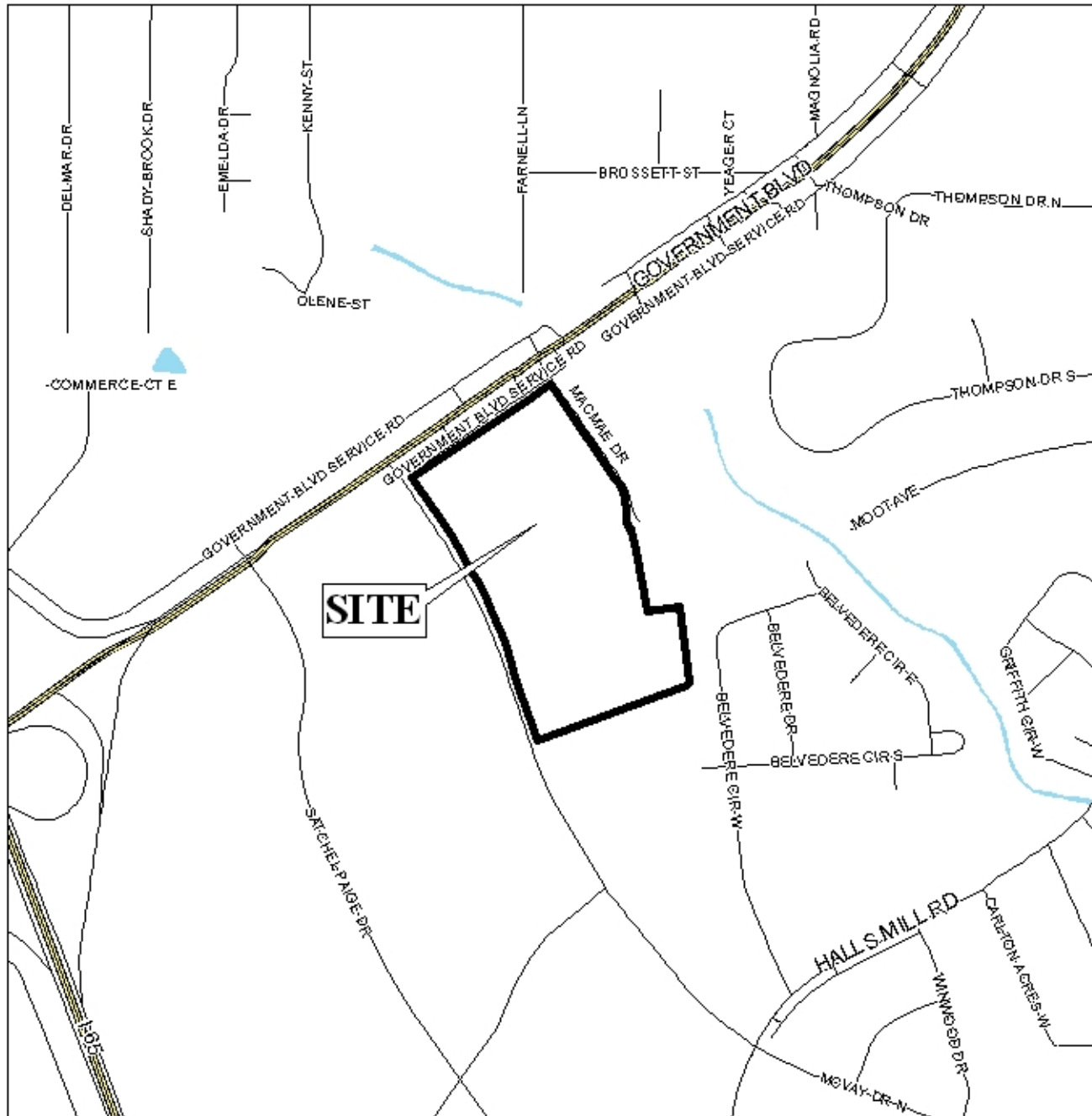
- 1) submission of a revised PUD site plan prior to signing the final plat;
- 2) placement of a note on the final plat stating that curb cutting for Lot 1 is limited to an approved PUD site plan; Lot 2 should be limited to two curb cuts to MacVay Drive and one curb cut to Macmae Drive, with the size, design and location to be approved by Traffic Engineering and in conformance with AASHTO standards;
- 3) provision of adequate radii where Government Boulevard Service Road intersects both MacVay and Macmae Drives, as required by Section V.B.16 of the Subdivision Regulations;
- 4) placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;

- 5) compliance with Engineering comments: *(For any future development, the existing detention systems will be required be surveyed to verify capacity and functionality of the detention systems. The existing drainage structures located on Macmae Dr will be required to be analyzed to verify that there is sufficient capacity and that the system is functioning properly to receive the additional flow. Any new dumpster pads or vehicle wash facilities cannot drain to storm sewer and must have connection to sanitary sewer. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Any damaged sidewalk sections and/or driveway aprons located in the City ROW will be required to be replaced as part of any land disturbance permit).*

Planned Unit Development: Based upon the preceding, this application is recommended for approval, subject to the following conditions:

- 1) provision of adequate radii where Government Boulevard Service Road intersects both MacVay and Macmae Drives, as required by Section V.B.16 of the Subdivision Regulations;
- 2) submission of a revised PUD site plan illustrating all pertinent information regarding parking, landscaping, dumpster location, etc;
- 3) placement of a note on the site plan stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 4) compliance with Engineering comments: *(For any future development, the existing detention systems will be required be surveyed to verify capacity and functionality of the detention systems. The existing drainage structures located on Macmae Dr will be required to be analyzed to verify that there is sufficient capacity and that the system is functioning properly to receive the additional flow. Any new dumpster pads or vehicle wash facilities cannot drain to storm sewer and must have connection to sanitary sewer. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Any damaged sidewalk sections and/or driveway aprons located in the City ROW will be required to be replaced as part of any land disturbance permit); and*
- 5) full compliance with all municipal codes and ordinances.

LOCATOR MAP



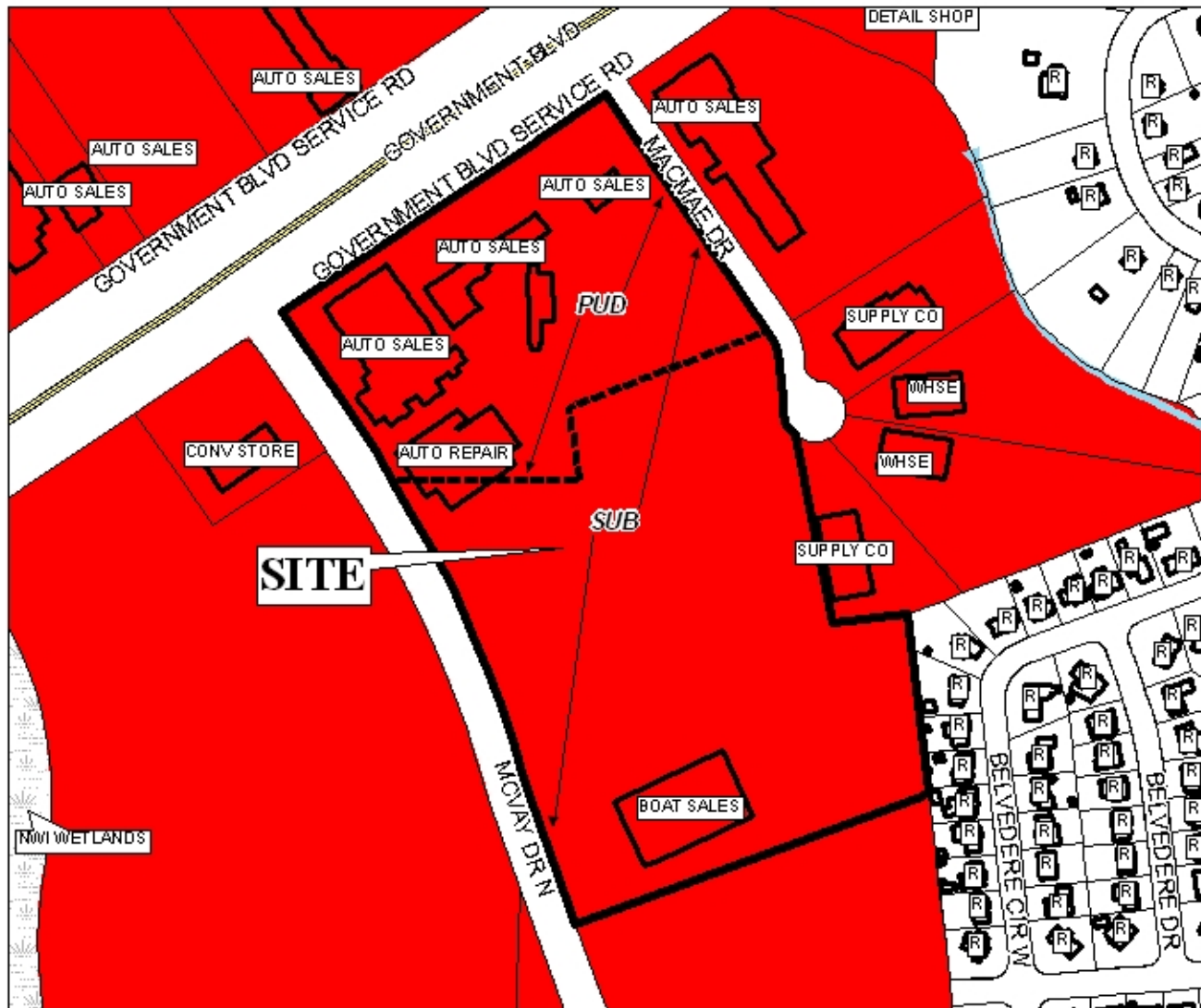
APPLICATION NUMBER 24 & 25 DATE November 5, 2009

APPLICANT Grady Automotive Subdivision

REQUEST Subdivision, Planned Unit Development

N
NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by business land use with residential land use to the east.
The subdivision consists of lots 1 and 2.
The planned unit development is lot 1 only.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by business land use with residential land use to the east.
The proposed planned unit development is located
on the north half of the proposed subdivision.

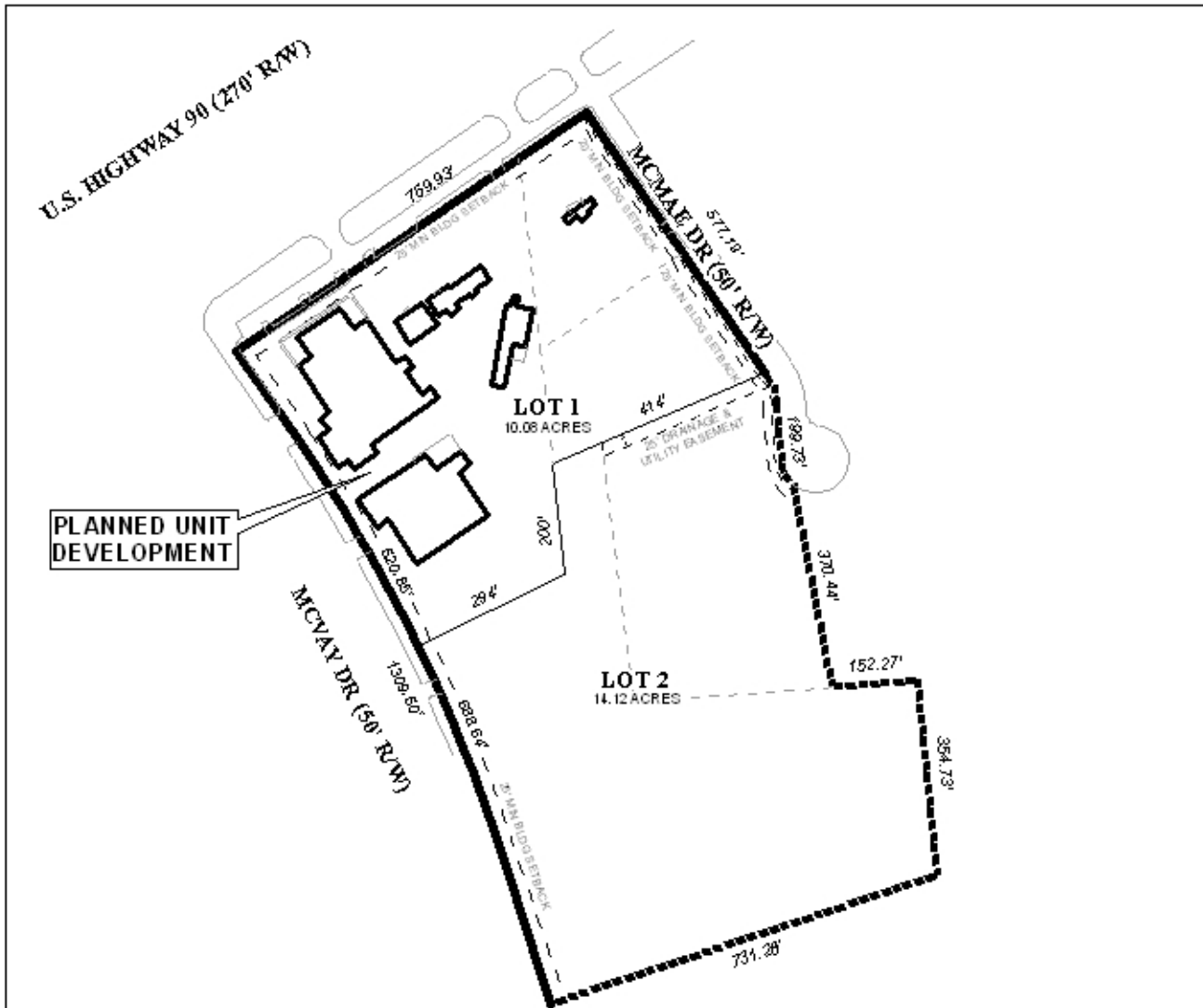
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SUBDIVISION DETAIL



This site plan illustrates the proposed subdivision and planned unit development.
The subdivision consists of lots 1 and 2.
See detail site plan for planned unit development.

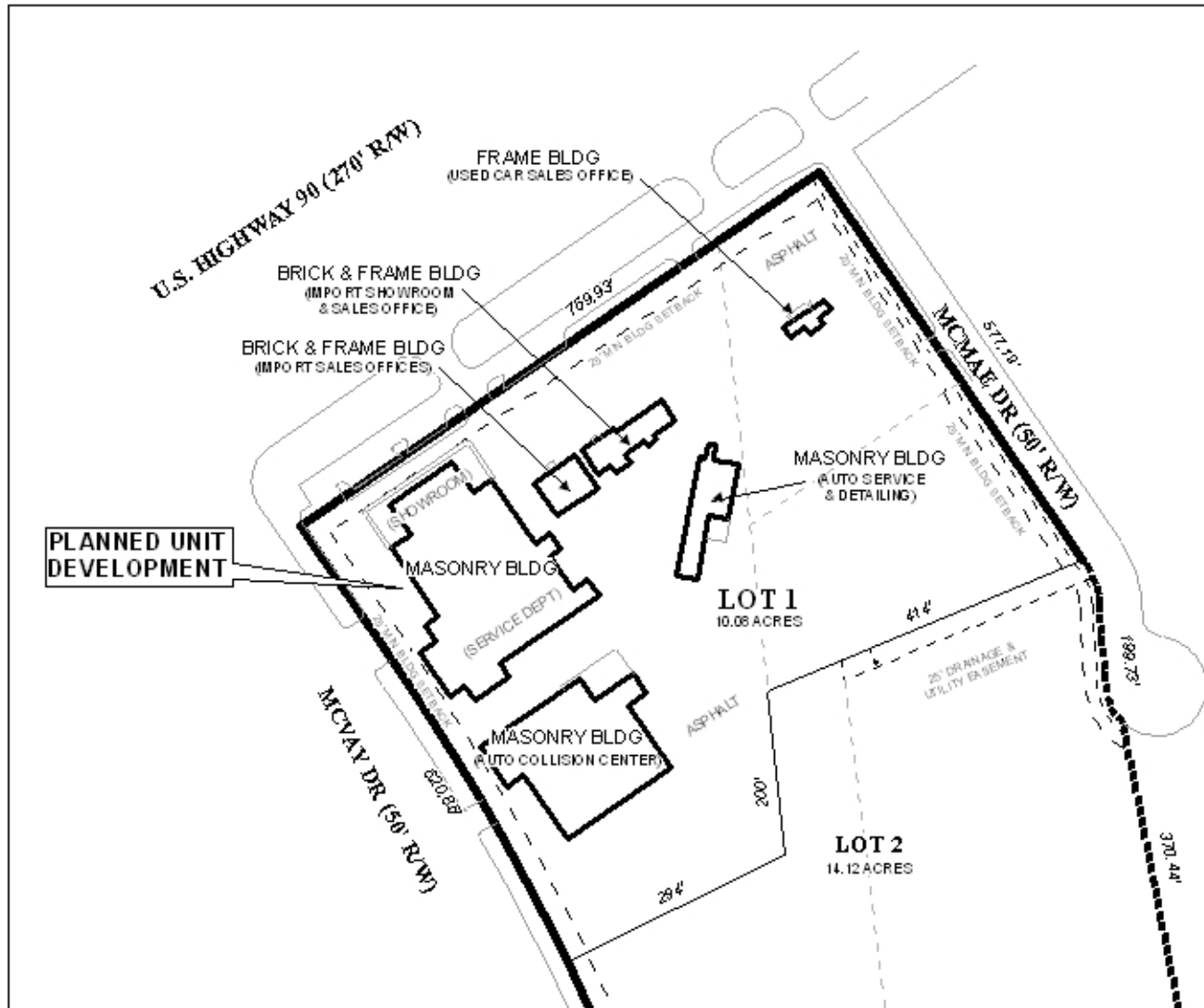
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N
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SITE PLAN



This site plan illustrates the proposed planned unit development.
 The subdivision consists of lots 1 and 2.
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