

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: June 1, 2006**

**DEVELOPMENT NAME** First Stop Subdivision

**SUBDIVISION NAME** First Stop Subdivision

**LOCATION** 1255 and 1275 Spring Hill Avenue  
(Southeast corner of Spring Hill Avenue and North Ann Street)

**CITY COUNCIL DISTRICT** District 2

**PRESENT ZONING** B-3, Community Business

**AREA OF PROPERTY** 1 Lot / 0.9  $\pm$  acres

**CONTEMPLATED USE** Multiple buildings on a single building site.

**TIME SCHEDULE FOR DEVELOPMENT** Immediate

**ENGINEERING COMMENTS** Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING COMMENTS** Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT COMMENTS** All portions of any new structures built or moved onto the property would have to be within 400 ft. of at least one Fire Hydrant, possibly more. Appendix B, C & D with the exception of Section D107 shall apply to all new buildings or structures built within the jurisdiction of the City of Mobile.

**REMARKS** The applicant is requesting Subdivision approval, to create one lot of record from an existing legal lot of record and a metes and bounds

parcel; and Planned Unit Development approval, and to allow multiple buildings on a single building site.

The plat illustrates the proposed 0.9± acre, 1-lot subdivision which is located at 1255 and 1275 Spring Hill Avenue (Southeast corner of Spring Hill Avenue and North Ann Street) and is in Council District 2. The site is served by public water and sanitary sewer.

The site fronts Spring Hill Avenue, a major street with a right-of-way illustrated as 100-foot right-of-way which in compliance with the Major Street Plan, and North Ann Street, with a 60-foot right-of-way. The plat meets the minimum requirements of the Subdivision Regulations.

Regarding the PUD request, the applicant is combining a legal lot of record and a metes and bounds parcel to create one legal lot of record, which have existing buildings on each lot; therefore a PUD is required. Furthermore, as illustrated on the site plan an additional underground fuel tank is proposed for the existing convenience store with gas pumps.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

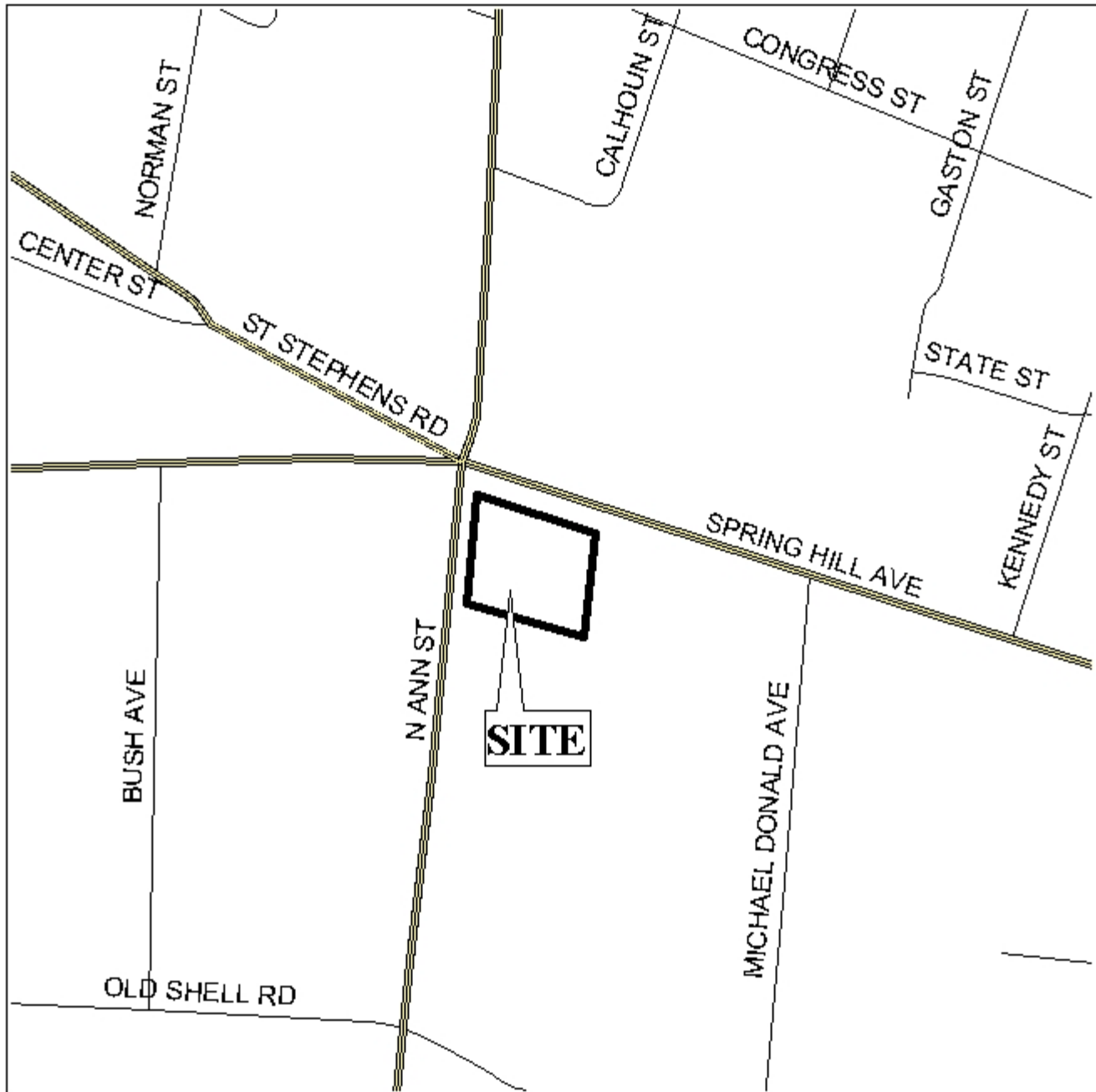
The site plan illustrates both existing building with associated parking and access and the proposed placement of the additional fuel tank. Additionally, the existing building on the east side of the development stands on its own as having its own parking spaces and access to Spring Hill Avenue.

### **RECOMMENDATION**

**Planned Unit Development:** Based upon the preceding, this application is recommended for approval subject to the following condition: 1) full compliance with all other municipal codes and ordinances.

**Subdivision:** The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following condition: 1) full compliance with all other municipal codes and ordinances.

## LOCATOR MAP



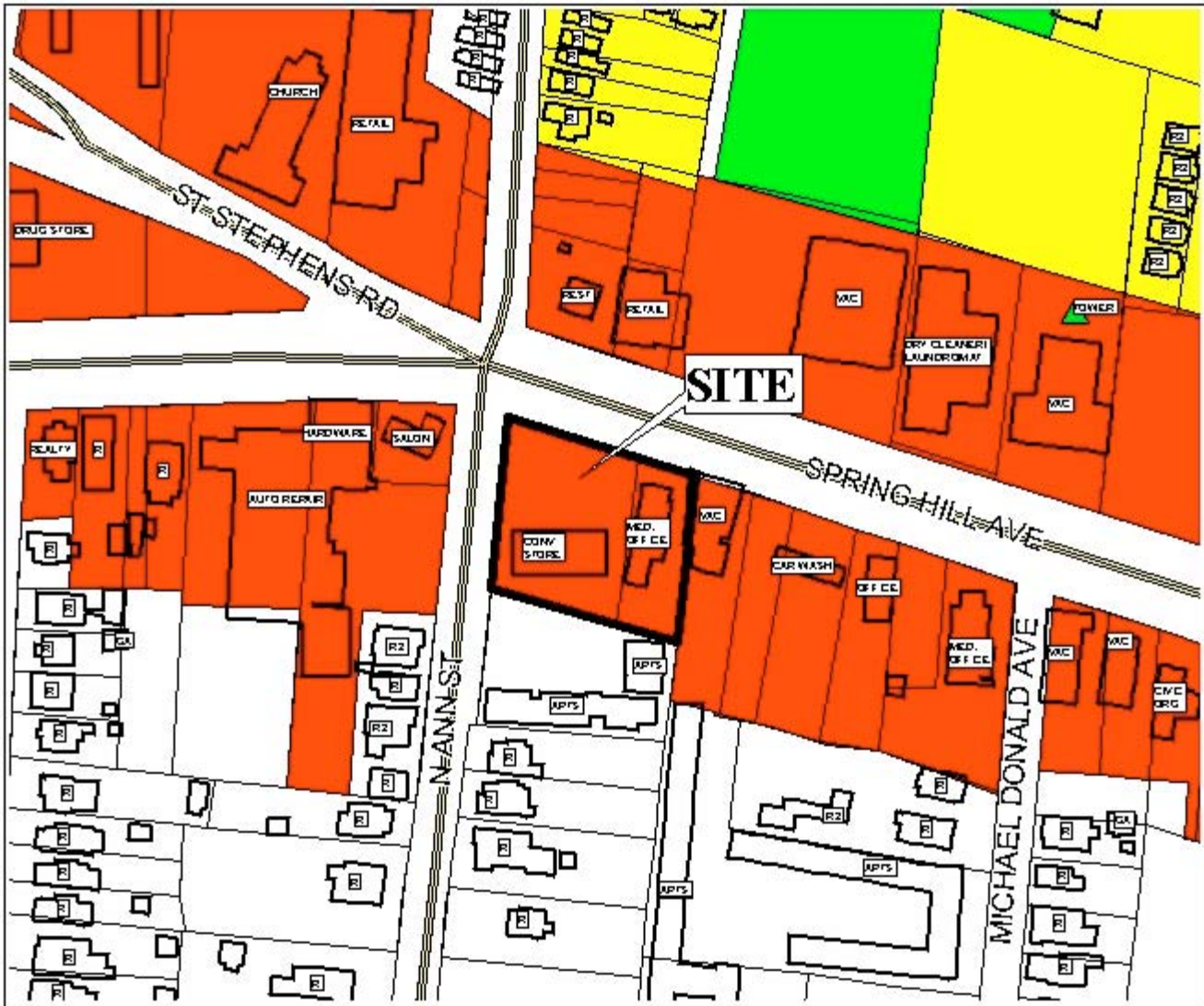
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APPLICANT First Stop Subdivision

REQUEST Planned Unit Development, Subdivision



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Located to the North of the site is a restaurant and retail; to the East is a vacant structure. Located to the South of the site are multiple family residential dwellings; to the West is a salon.

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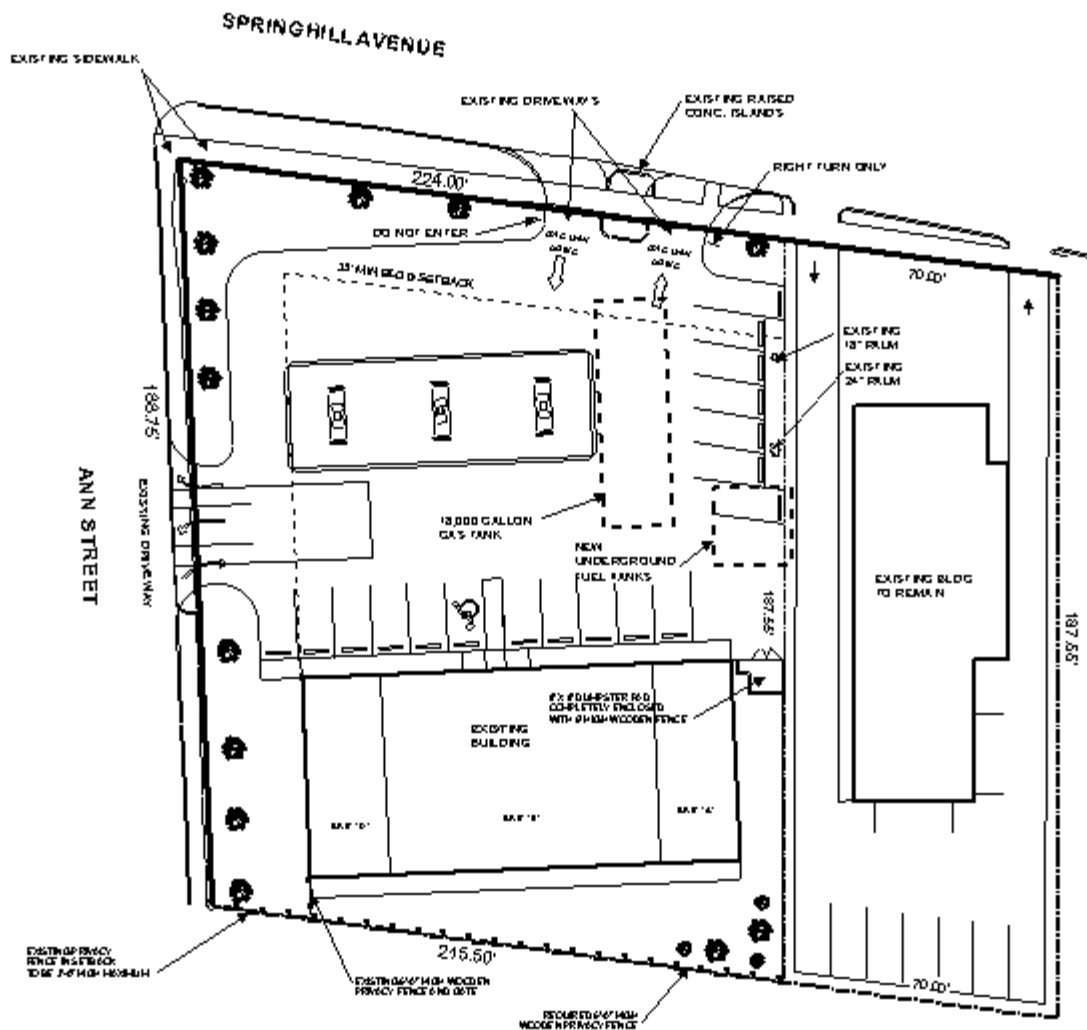
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LEGEND 

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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## SITE PLAN



The site is located on the Southeast corner of Spring Hill Avenue and Ann Street. The plan illustrates the existing buildings and parking.

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