

**PLANNED UNIT DEVELOPMENT,  
PLANNING APPROVAL, SUBDIVISION &  
SIDEWALK WAIVER REQUEST STAFF REPORT    Date: October 4, 2012**

<b><u>NAME</u></b>	CN-Beauregard Industrial Park
<b><u>SUBDIVISION NAME</u></b>	CN-Beauregard Industrial Park
<b><u>LOCATION</u></b>	Northwest corner of Beauregard Street and Dekle Road
<b><u>CITY COUNCIL DISTRICT</u></b>	District 2
<b><u>PRESENT ZONING</u></b>	I-2, Heavy Industry District
<b><u>AREA OF PROPERTY</u></b>	1 Lot/38.9± Acres
<b><u>CONTEMPLATED USE</u></b>	<i>Planned Unit Development</i> approval to allow multiple buildings on a single building site, <i>Planning Approval</i> to allow the expansion of an existing rail yard in an I-2 Heavy Industry District, <i>Subdivision</i> approval to create one legal lot and <i>Sidewalk Waiver</i> approval to waive construction of sidewalks along Dekle Road.
<b><u>TIME SCHEDULE</u></b>	Immediately

**ENGINEERING**

**COMMENTS**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. Any and all proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
3. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.

*Sidewalk Waiver:* Recommends approval of the sidewalk waiver.

## **TRAFFIC ENGINEERING**

### **COMMENTS**

Entire frontage on Beauregard Street is adjacent to one-way section of roadway. Site layout on CN Rail Site 2022-C1 does not match CN Rail Landscaping Plan 2022-L1. Size and location of driveways and parking do not match. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Traffic Engineering concurs with an approval of a sidewalk waiver on Dekle Street.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Full compliance with frontage tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

## **REMARKS**

The applicant is requesting Planned Unit Development approval to allow multiple buildings on a single building site, Planning Approval to allow the expansion of an existing rail yard in an I-2 Heavy Industry District, Subdivision approval to create one legal lot, and Sidewalk Waiver approval to waive construction of sidewalks along Dekle Road.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazards, and to determine if the proposal is in harmony with the orderly and appropriate development of the district. It is very important to note that the Planning Approval review is **site plan specific**; therefore, any future changes to the site plans, as approved, by current or future applicants must be submitted for Planning Approval review.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent

developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The proposal currently under consideration is located on property owned by Canadian National Rail Road and would provide transport services for the transfer of bulk petroleum products from the west side of the Mobile River. The applicant plans to provide a pipeline from the GCAC bulk plant facilities on the East bank of the river via an underground pipeline to this facility on the West side of the river for transport by rail.

The site fronts Beauregard Street and Dekle Road, both streets along the project site are minor streets which require at least 60-feet of right-of-way. The site plan submitted by the applicant illustrates compliance along Beauregard Street by providing 100-feet of right-of-way, which exceeds the requirement of 60-feet; thus, has adequate right-of-way. However, Dekle Road is illustrated as providing 50-feet, which is in compliance if the site provides curb and gutter. Therefore, dedication would be required to provide sufficient right-of-way to comply with Section V.B.14., Right-of-Way Widths. In addition parcel data, as provided by County Tax Assessors site illustrates that a portion of parcel R022906120001002.000. may be located within the right-of-way. Therefore, dedication to provide sufficient right-of-way at this intersection may be required.

Illustrated on the site plan is a 40-foot wide and a 24-foot wide access from Beauregard Street; and should be limited to these curb cuts with the size, design and location to be approved by Traffic Engineering, and comply with AASHTO standards.

Since the site is approximately 600-feet from Mobile River and as such the area may be considered environmentally sensitive; thus the approval of all applicable federal, state and local agencies would be required.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Dumpster locations for the site are not depicted on the site plan to comply with Section 64-4.D.9 of the Zoning Ordinance; therefore, the applicant should make a provision for dumpster locations and place a note on the site plan stating that dumpsters will be completely screened from view and tied to sanitary sewer. If dumpsters will not be used, provide a statement indicating such, and how garbage will be removed from the site.

The 25-foot minimum building setback line is not depicted on the plat along Beauregard Street and Dekle Road; therefore, the Final Plat should illustrate the 25-foot setback lines along these streets.

Regarding the Sidewalk Waiver request the applicant states that the close proximity of the railroad track and storm water ditch West of Dekle Road, it would be impractical to put in

sidewalks along this street and is an industrial site. The applicant also states that there are no existing sidewalks along Dekle Road.

With regard to the applicant's request, not having sidewalks on Dekle Road does not negate the fact that a sidewalk is required by the Subdivision Regulations. It should be noted that an analysis of GIS shows that there are no sidewalks in the vicinity along Dekle Road. Further, it has been the policy of the Commission to approve sidewalk waivers only in cases where there was an engineering reason or physical barrier that made installation of the sidewalk impracticable. In this instance, City Engineering has determined (tbd) of sidewalk waiver.

### **RECOMMENDATION**

**Subdivision:** The request is recommended for tentative approval, subject to the following conditions:

- 1) dedication to provide sufficient right-of-way to comply with Section V.B.14., Right-of-Way Widths;
- 2) dedication of sufficient radius at the intersection of Beauregard Street and Dekle Road, to be approved by City Engineering and Traffic Engineering and conform to AASHTO standards;
- 3) the placement of a note on the Final Plat stating that the development be limited to the two curb cuts, as illustrated on the site plan, with the driveway, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards
- 4) the subdivision process be completed prior to the issuance of any permits;
- 5) placement of a note on the plat stating that maintenance of all common areas and detention areas is the responsibility of the property owners;
- 6) depiction and labeling of the 25-foot minimum building setback line along all road frontages;
- 7) full compliance with Engineering comments: *(1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. Any and all proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.);*
- 8) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for wetland issues, if any, prior to the issuance of any permits or land disturbance activities;
- 9) placement of a note on the Final Plat stating that the approval of all applicable federal, state and local agencies is required for endangered or threatened species prior to the issuance of any permits or land disturbance activities, as depicted on the preliminary plat; and

- 10) compliance with Fire comments: *(All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate).*

**Planned Unit Development:** Based on the preceding Planned Unit Development (PUD) request is recommended for approval, subject to the following conditions:

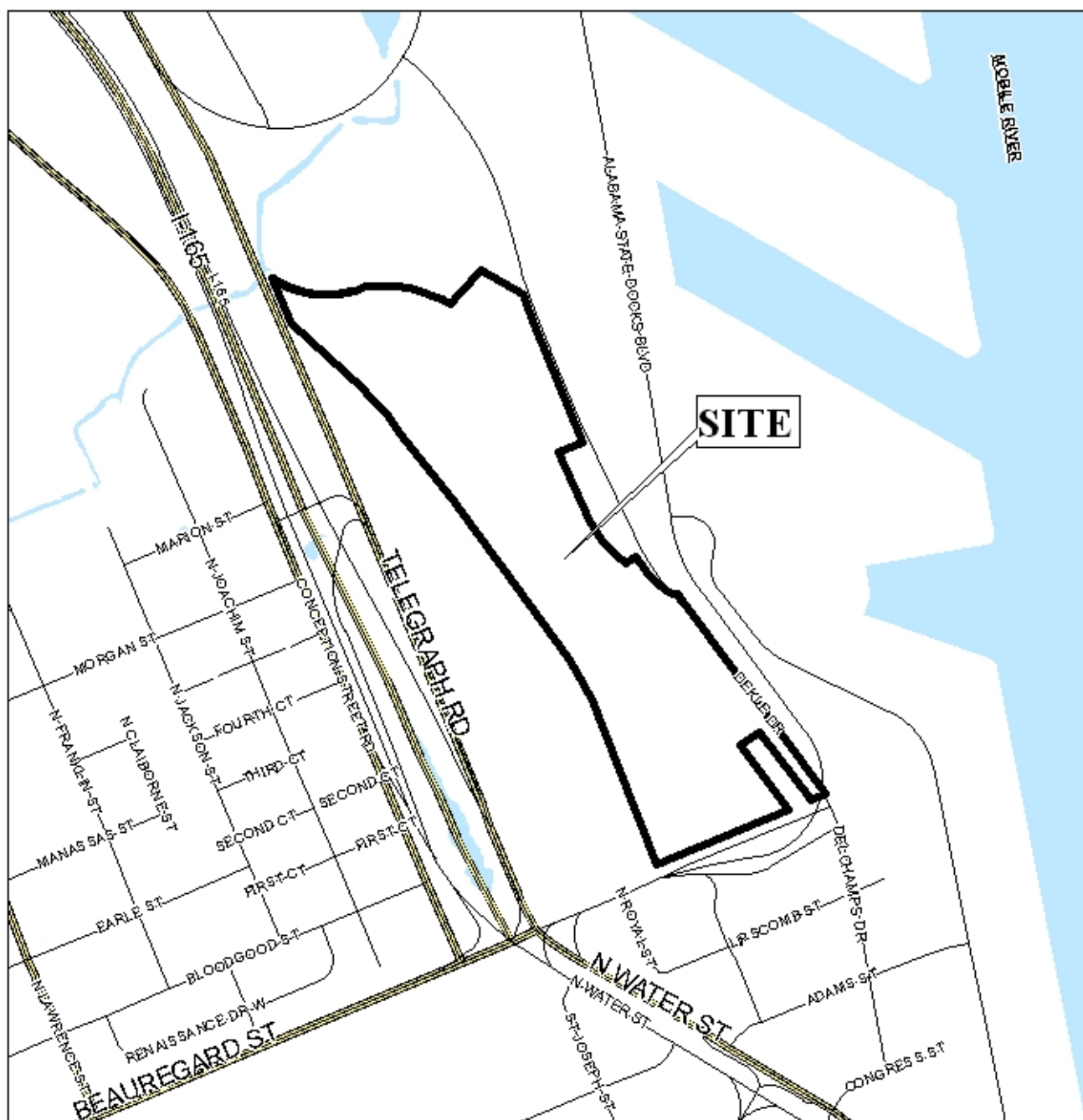
- 1) depiction of dumpster locations on the site plans to comply with Section 64-4.D.9 of the Zoning Ordinance or placement of a note on the site plans stating that dumpsters will be completely screened from view and connected to sanitary sewer or placement of a note stating how garbage will be removed;
- 2) compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64) Full compliance with frontage tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry);*
- 3) compliance with Engineering comments: *(1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. Any and all proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.);*
- 4) compliance with Fire Department comments: *(All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate);*
- 5) placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies is required for wetland issues, if any, prior to the issuance of any permits or land disturbance activities;
- 6) placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;
- 7) placement of a note on the site plan stating that approval of all applicable federal, state and local environmental agencies for wetlands or floodplain issues is required prior to the issuance of any permits or land disturbance activities;
- 8) placement of a note on the site plan stating that any changes to the site plan will require new applications for Planning Approval and Planned Unit Development Approval prior to the issuance of any permits; and
- 9) the submission to the Planning Section, two copies of the revised site plan, illustrating the conditions of approval.

**Planning Approval:** Based on the preceding the Planning Approval request is recommended for approval, subject to the following conditions:

- 1) depiction of dumpster locations on the site plans to comply with Section 64-4.D.9 of the Zoning Ordinance or placement of a note on the site plans stating that dumpsters will be completely screened from view and connected to sanitary sewer or placement of a note stating how garbage will be removed;
- 2) compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64) Full compliance with frontage tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry);*
- 3) compliance with Engineering comments: *(1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. Any and all proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.);*
- 4) compliance with Fire Department comments: *(All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate);*
- 5) placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;
- 6) placement of a note on the site plan stating that approval of all applicable federal, state and local environmental agencies for wetlands or floodplain issues is required prior to the issuance of any permits or land disturbance activities; and
- 7) placement of a note on the site plan stating that any changes to the site plan will require new applications for Planning Approval and Planned Unit Development Approval prior to the issuance of any permits.

**Sidewalk Waiver:** Based on the preceding, it is recommended that this application be Approved.

## LOCATOR MAP



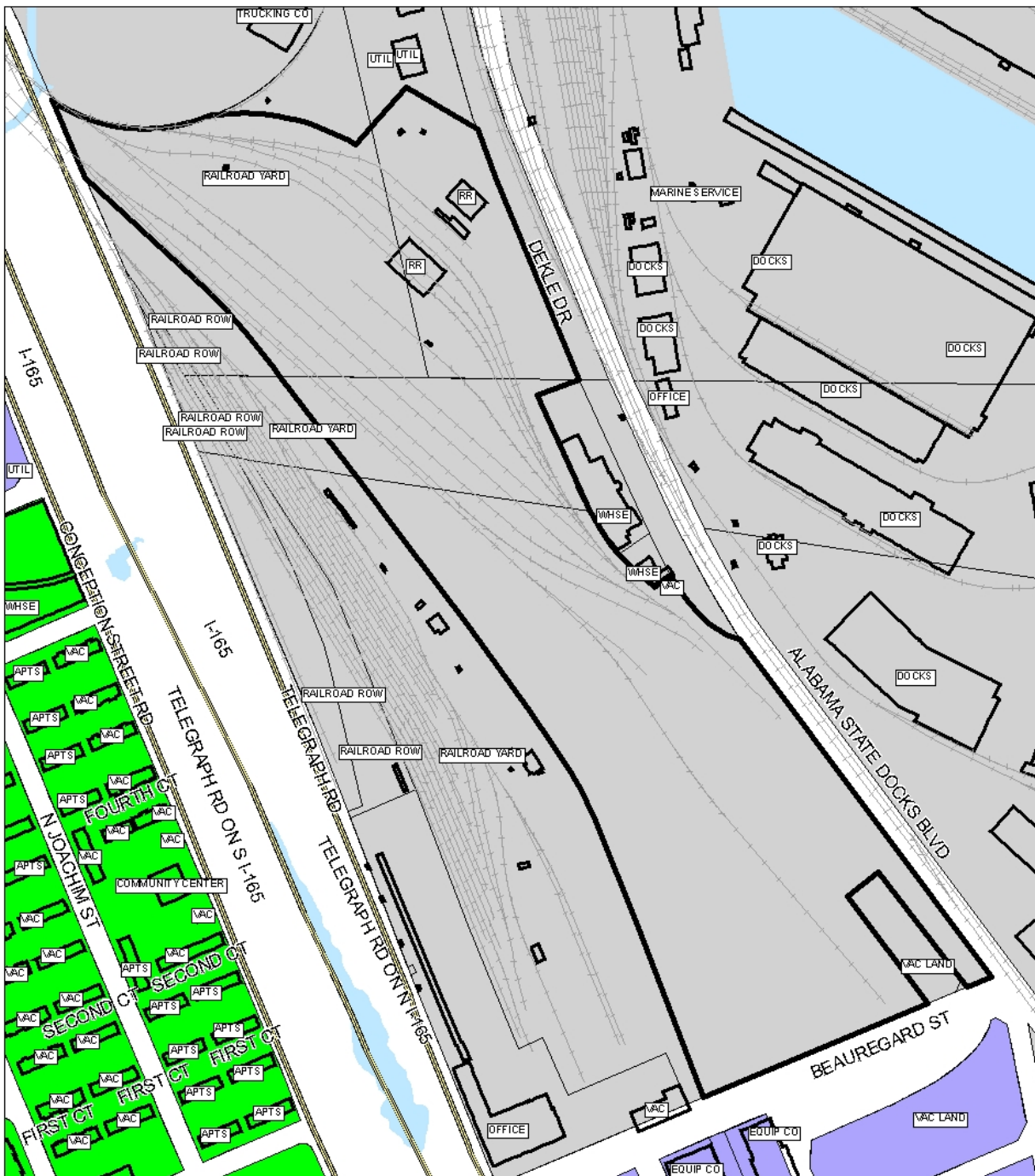
APPLICATION NUMBER 24, 25, 26 & 27 DATE October 4, 2012

APPLICANT CN-Beauregard Industrial Park

REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

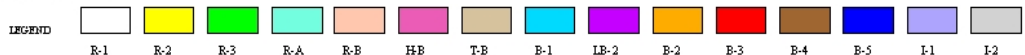


The site is surrounded by industrial land use.

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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



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APPLICATION NUMBER 24, 25, 26 & 27 DATE October 4, 2012

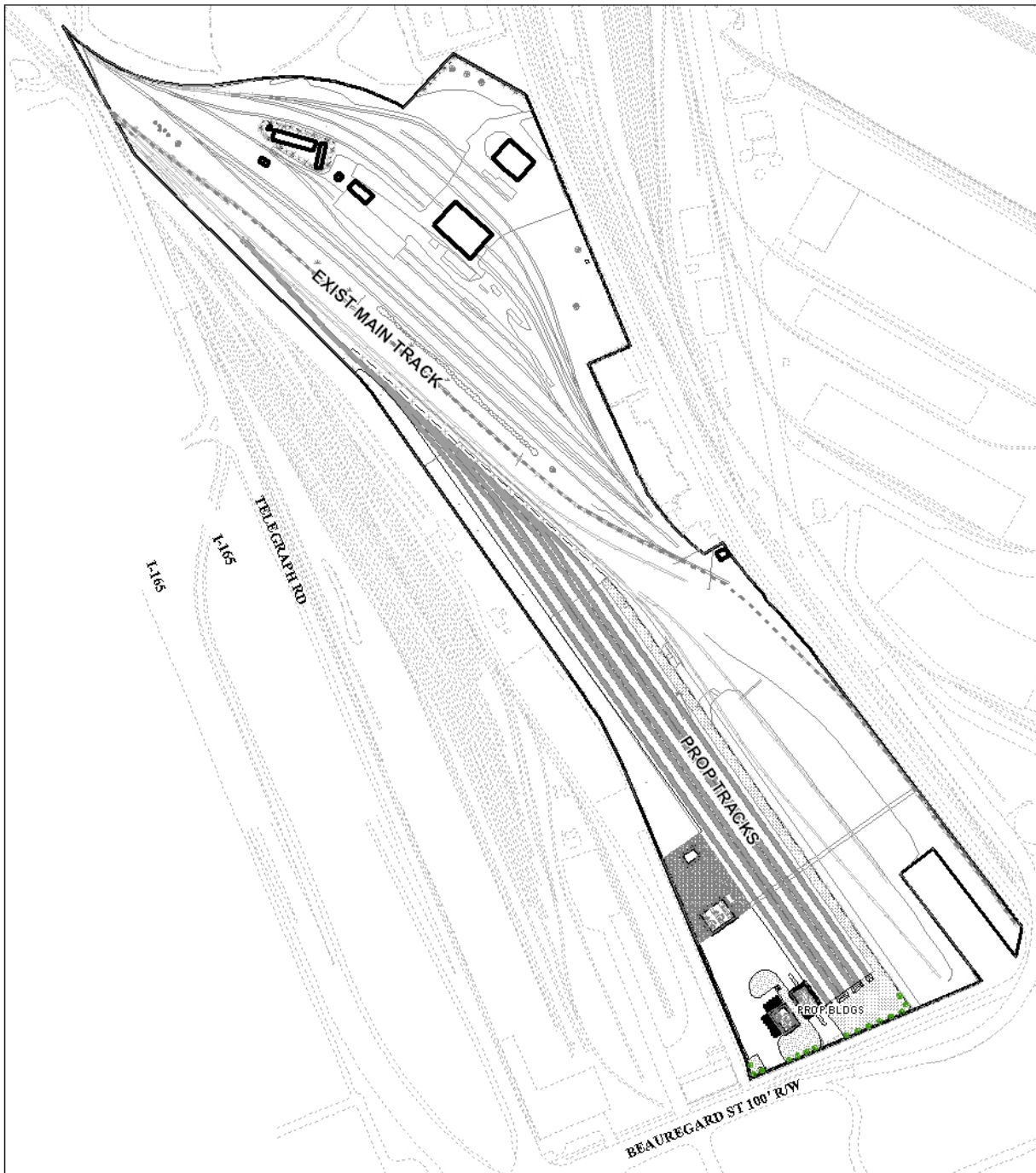
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# SITE PLAN



The site plan illustrates the proposed railyard expansion.

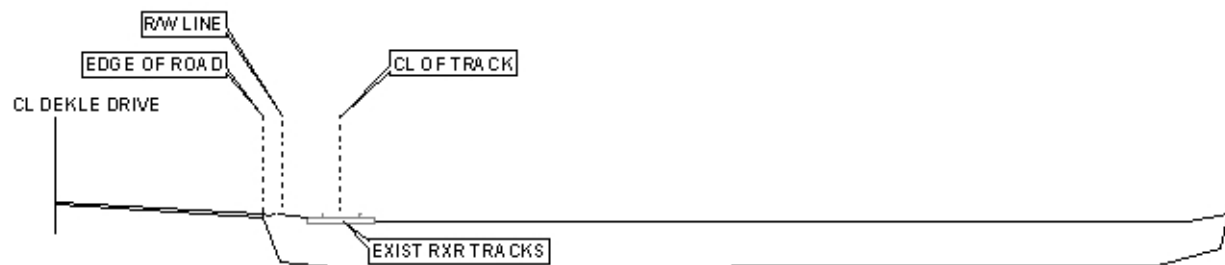
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## DETAIL SITE PLAN



APPLICATION NUMBER 24, 25, 26 & 27 DATE October 4, 2012

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REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver

