

SIDEWALK WAIVER REQUEST STAFF REPORT **Date: April 1, 2004****NAME**

Regions Bank

LOCATION5202 Cottage Hill Road
(Northwest corner of Cottage Hill Road and University
Boulevard).**PRESENT ZONING**

B-3, Community Business

**ENGINEERING
COMMENTS**

Recommend waiver. The roots of the 30" live oak would require trimming to a depth of approximately 4" which would likely be detrimental to the health of the tree. In addition, a sidewalk easement would be required from the applicant to route the sidewalk around a large utility pole.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Urban Forestry sees no tree related reason why the sidewalk cannot be constructed as required.

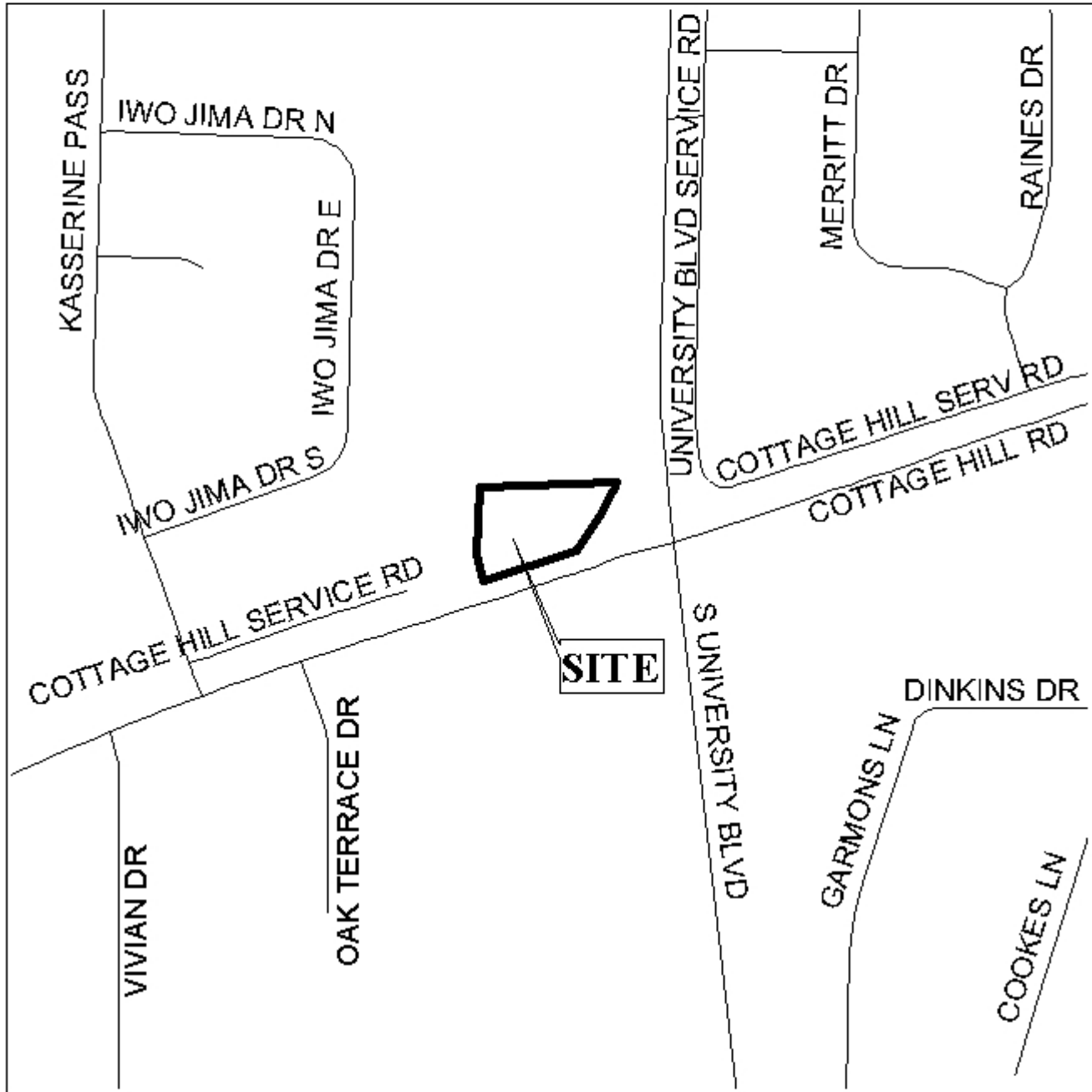
REMARKS

The applicant states that there are no existing sidewalks in the area and that the 30" Live Oak tree and existing utilities will have a negative impact on installing a sidewalk. Moreover, as outlined in the City Engineering comments, the installation of the sidewalk is not feasible.

RECOMMENDATION

Based upon the preceding, this application is recommended that the sidewalk be provided subject to the root system not being disturbed, with the construction of the sidewalk to be coordinated with Urban Forestry.

LOCATOR MAP



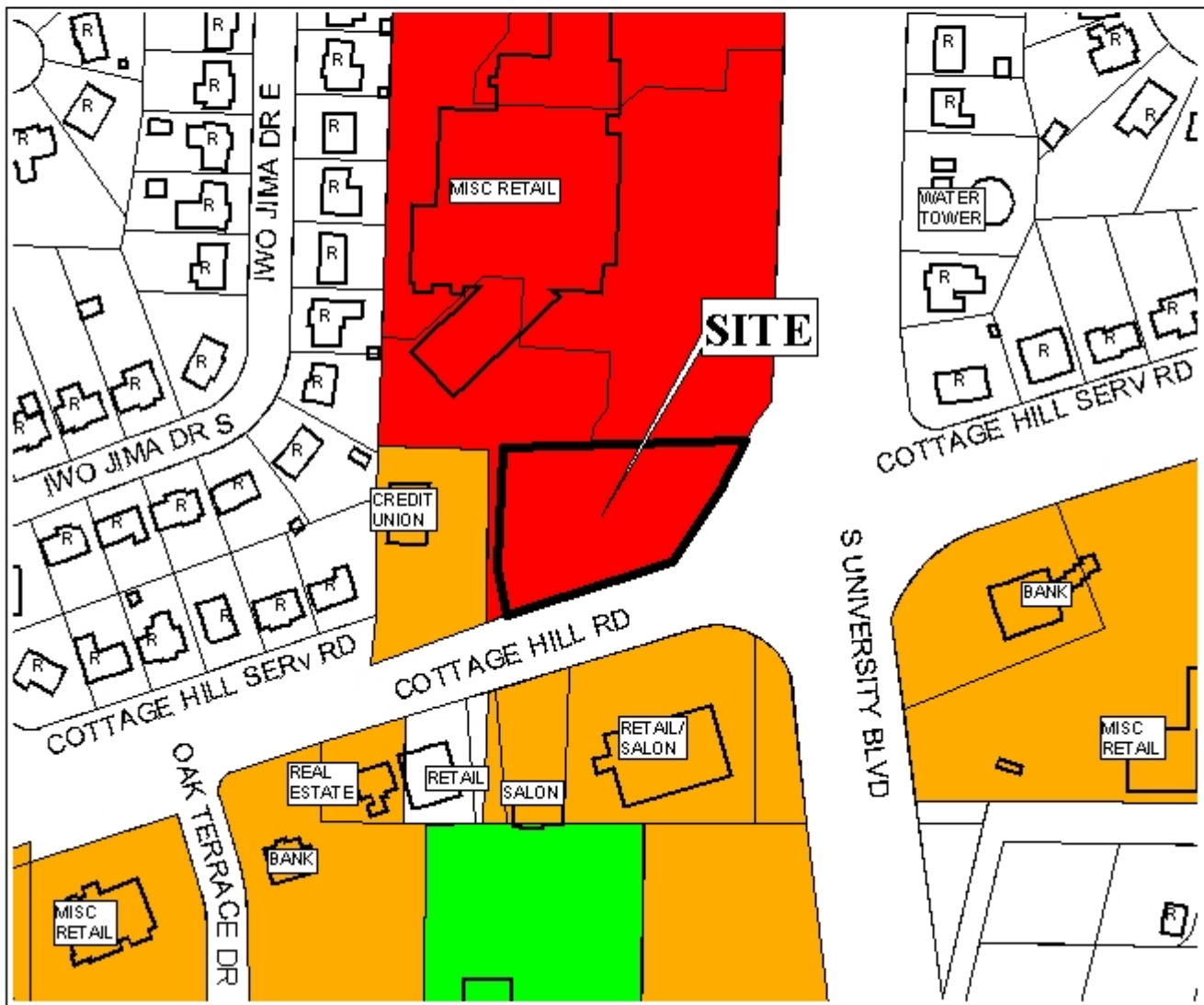
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REQUEST Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Located to the North of the site are miscellaneous retail; to the East are single family residential dwellings. Located to the South and West are miscellaneous retail, salon, and credit union.

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LEGEND

