

WOODLAND GLEN SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 91 lot, 38.8 \pm acre subdivision which is located at the North termini of Meadow Green Court and Meadow Run Drive. The subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create a 91-lot subdivision from portions of three parcels. While the proposed development will only encompass 38.8 \pm acres, the total area of the parcels being utilized for the development is approximately 294 acres. The preliminary plat for Woodland Glen does not indicate how the remainder of the three parcels will be utilized, thus the plat must be revised to include the full extent of the parcels, with an indication of “future development” or future units. It should also be noted that the parcels are adjacent four land-locked parcels (R023304181000003., R023303073000048., R023303073000049., and R023304181000002.001.), and the provision of street stubs may be required when those units are proposed.

The proposed Woodland Glen subdivision will connect to The Meadows, units 1-4. Unit 1 of The Meadows was recorded at Mobile County Probate in 1988, while Unit 4 was approved by the Planning Commission in January 1999. The applicant stated during the Unit 4 review that a composite plan would be provided depicting the road layout, however no record of a composite plan has been found in the files.

The proposed subdivision has frontage onto street stubs for Meadow Green Court and Meadow Run Drive, both minor streets with adequate rights-of-way, as well as an implied new connection to Meadows Drive South. The preliminary plat should be revised to show the continuance of the proposed right-of-way to Meadows Drive South, rather than depicting it as what appears to be a lot. No additional street stubs are proposed as part of the Woodland Glen subdivision.

The three parcels from which the subdivision will be derived have frontage onto Schillinger Road South, a major street that will require dedication to meet the minimum 100-foot right-of-way width, as well as frontage on the following 13 minor street street-stubs in the 4 following subdivisions:

- The Meadows Subdivision: Meadows Drive North, Meadow Dale Drive, Meadow Green Court, Meadow Run Drive, and Meadow Heights Drive;
- Windtree Subdivision: Boulder Lane, Clifton Way, Windtree Road, Oakwind Drive, and Grandeur Place; and
- Saybrook Subdivision: Pierson Drive and Saybrook Boulevard; and
- Bridge Mill Subdivision: Fenwick Loop West.

The proposed expansion of the Saybrook Subdivision (formerly known as Audubon Woods) includes a street-stub that appears to be in the vicinity of proposed Lots 60 and 61 of the

Woodland Glen Subdivision. Therefore, provision of a street-stub to connect to the proposed Saybrook Subdivision should be required.

A 50-foot wide easement to the Board of Water and Sewer Commissioners runs along Meadow Run Drive, and proceeds through the proposed subdivision, exiting on the West side through proposed Lot 25. The proposed right-of-way does not exactly coincide with the easement, thus the subdivision should be redesigned so that the centerline of the proposed road right-of-way aligns with the centerline of the existing easement. Furthermore, it should be noted that a substantial portion of proposed Lot 25 would not be considered buildable due to the presence of the easement.

The 25-foot minimum building setback line from the right-of-way is not shown but would be required on the Final Plat, if approved.

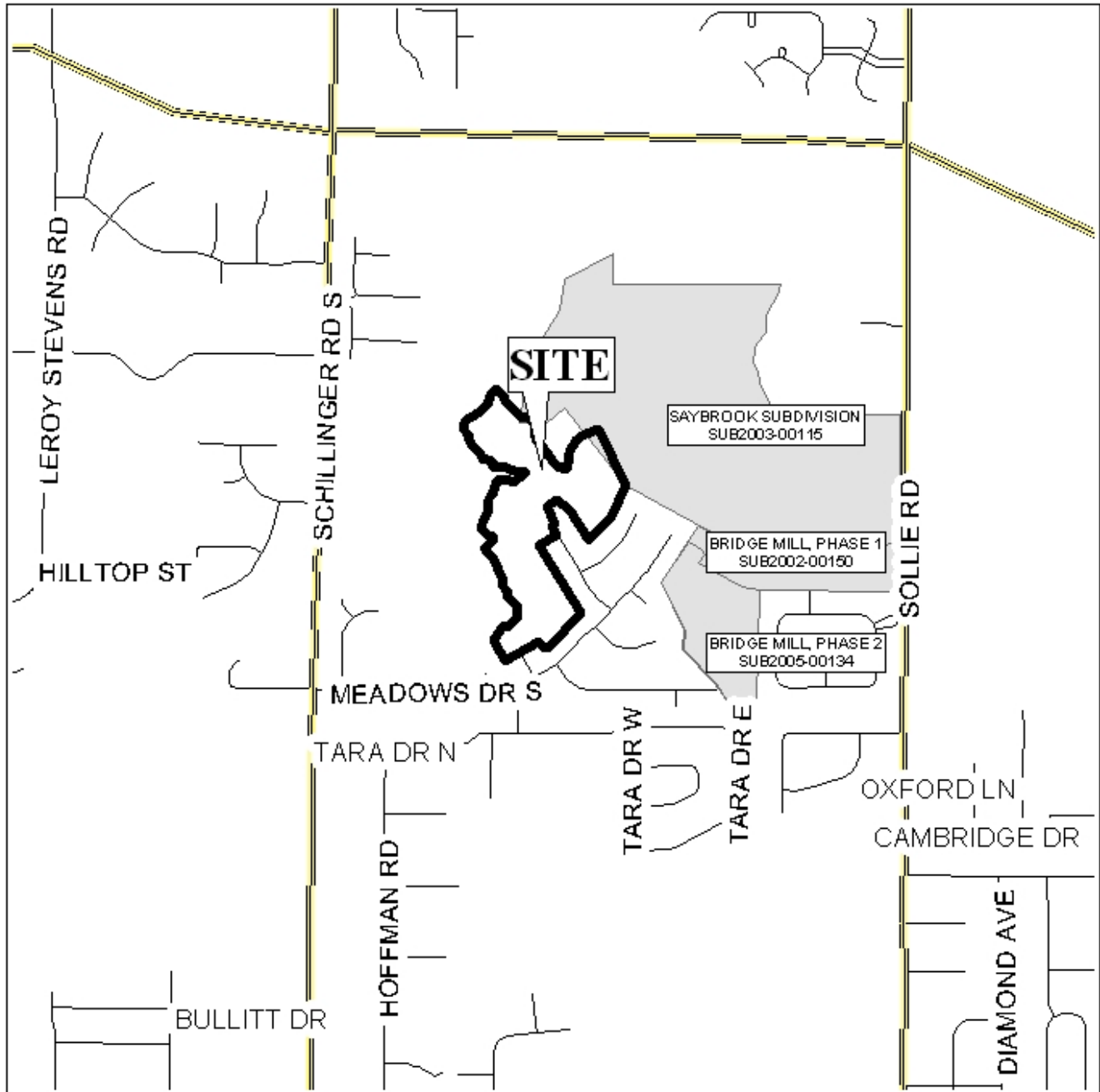
This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The proposed subdivision site is adjacent to an unnamed tributary to Halls Mill Creek, and the northern portion of one of the parcels is actually traversed by the creek. As noted on the preliminary plat and information from the National Wetlands Inventory, it appears that the proposed subdivision may abut areas that potentially contain wetlands. Furthermore, portions of the parcels not included by the proposed subdivision appear to be within the FEMA designated "100-year" floodplain and "floodway" of Halls Mill Creek and its unnamed tributary. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits.

It should be noted that the presence of wetlands, creeks and the topography of the parcels in question may preclude easy connections between the four existing subdivisions, the proposed subdivision, and the four land-locked parcels.

Based upon the proceeding, the plat is recommended for Holdover for the following reasons: 1) revision of the plat to include the full extent of all parcels; 2) revision of the plat to show the right-of-way aligned with the existing water and sewer easement; 3) revision of the plat to depict a right-of-way connection to Meadows Drive South; and 4) provision of a composite plan to address connections between existing street stubs, land-locked parcels, and the proposed subdivision, or subdivision of the remainder of the parcels to represent future development phases for the four existing subdivisions that stub into the parcels in question.

LOCATOR MAP



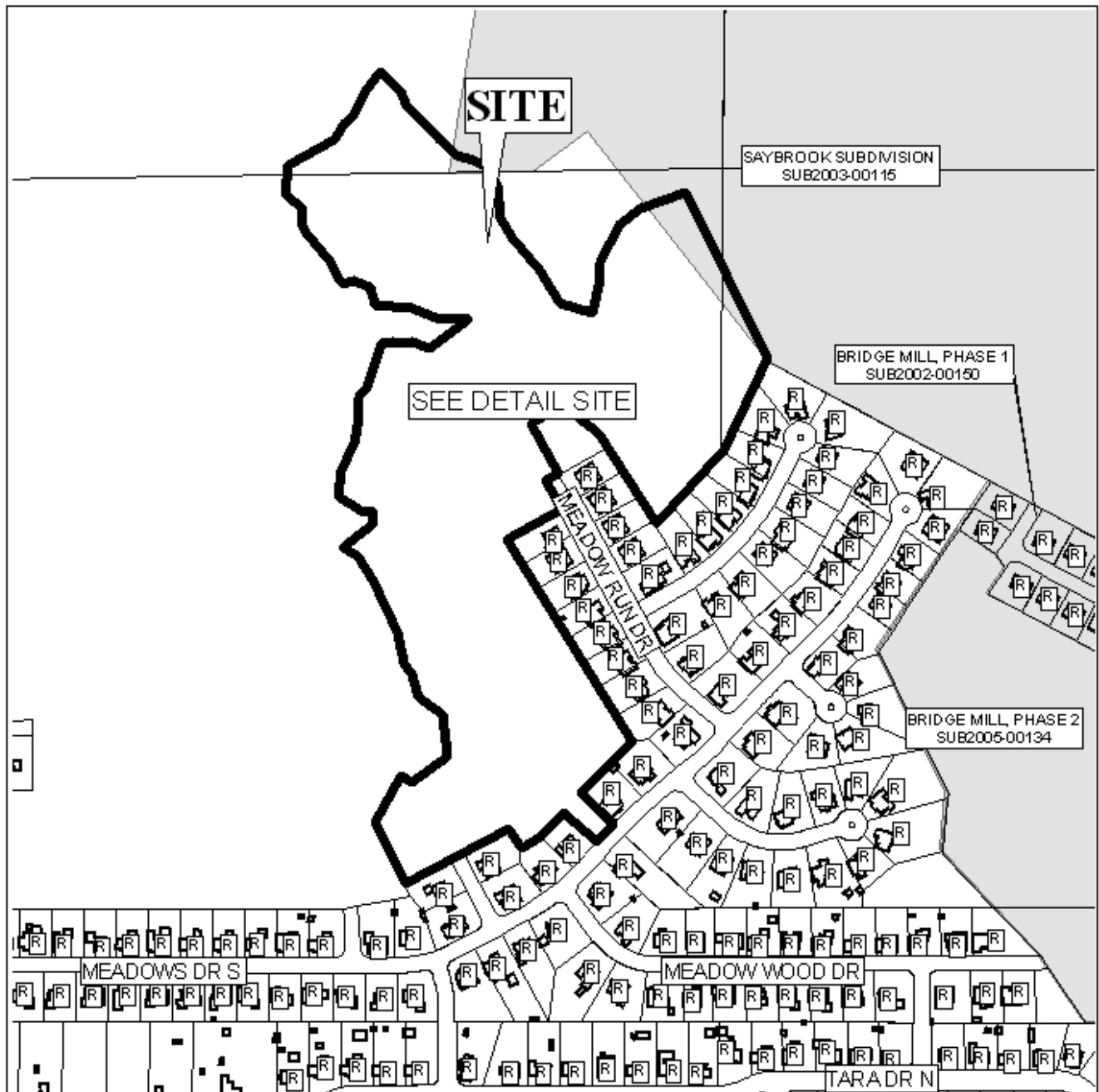
APPLICATION NUMBER 23 DATE April 6, 2006

APPLICANT Woodland Glen Subdivision

REQUEST Subdivision



WOODLAND GLEN SUBDIVISION



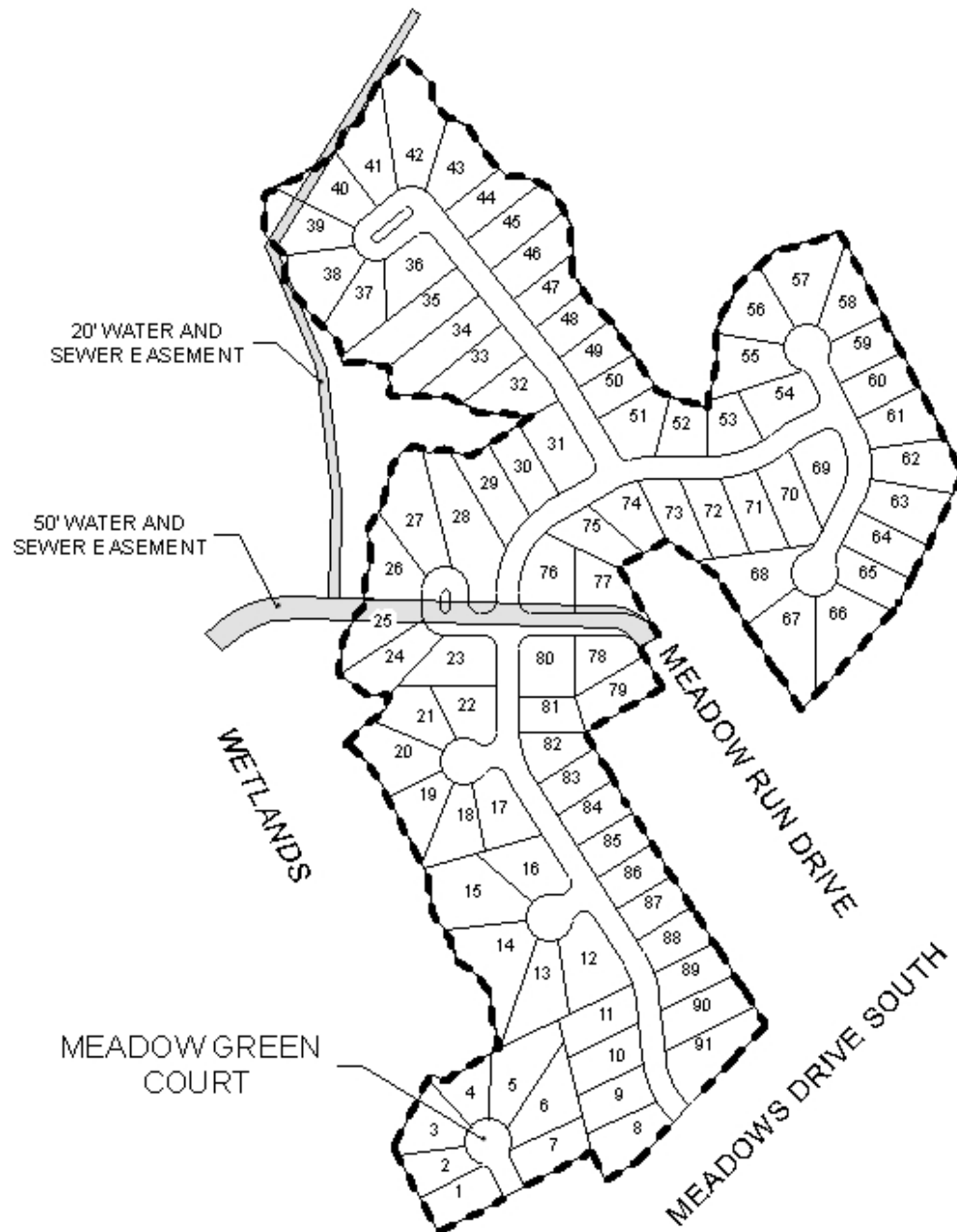
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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DETAIL SITE PLAN



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