

WONDROUS WORKS SUBDIVISION

Engineering Comments: Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate. Shall comply with Section 508.5.1 of the 2003 IFC.

Mobile Area Water & Sewer System Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 1.0± acre, 2 lot subdivision, which is located at the North terminus of Steve Street West, in City Council District 6. The applicant states that the site is served by city water and sanitary sewer facilities.

The purpose of this application is to subdivide a legal lot of record into two lots.

The site fronts Steve Street West, a minor street with 50' of right-of-way. However, this section of Steve Street appears to be substandard, which should be addressed.

As proposed, Lots A and B have 60' and 20' of frontage respectively along Steve Street West. As a means of access management, a note should be placed on the final plat stating that each lot is limited to one curb cut to Steve Street West, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Furthermore, while Lot B has reduced frontage, it is 60' wide at the minimum building setback line, compliant with Section V.D.2. of the Subdivision Regulations. However, a note should be placed on the final plat stating that no future re-subdivision will be allowed until additional adequate frontage on a public street is provided.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that each lot is limited to one curb cut Steve Street West, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) placement of a note on the final plat stating that no future re-subdivision will be allowed until additional adequate frontage on a public street is provided;
- 3) Steve Street be dedicated and accepted by City of Mobile Engineering, if required;
- 4) placement of a note on the plat / site plan stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 5) subject to Engineering comments: *(Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit)*

LOCATOR MAP



APPLICATION NUMBER 23 DATE April 17, 2008

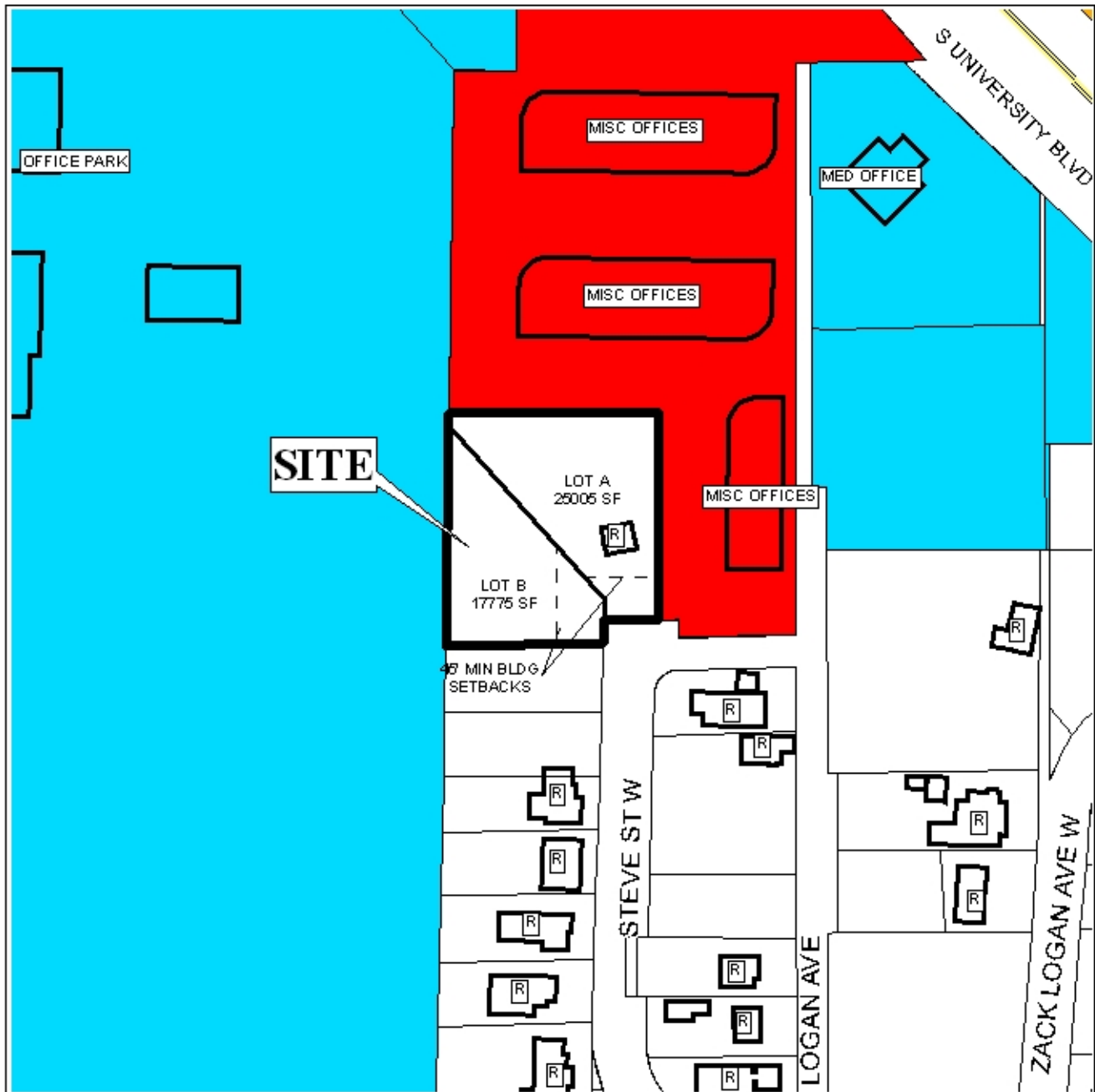
APPLICANT Wondrous Works Subdivision

REQUEST Subdivision



NTS

WONDROUS WORKS SUBDIVISION



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