

WHITESTONE ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Mobile Area Water and Sewer Systems Comments: MAWSS has only sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 33.1± acre, 41-lot subdivision, which is located at the North terminus of Whitestone Drive, which has a 50-foot right-of-way.

The purpose of the application is to create 41 lots of record from a portion of a large metes and bounds parcel.

The site has thrice been granted Subdivision approval, as part of Eagle Creek Subdivision in October 2004 (which has since expired), in its entirety as Ward Woods Subdivision in June 2005 (with 91 lots), and as Whitestone Estates Subdivision in January 2006. The applicant states that public water and sewer will serve the site, thus the minimum lot size of 7,200 square feet would be allowed. If public sewer is not provided, the minimum lot size must be at least 15,000 square feet, per the requirements of the Subdivision Regulations.

The application proposes new streets, which must be constructed and dedicated to Mobile County Engineering standards prior to signing the Final Plat. Lots 1, 5, 10, 11, and 18 are corner lots; therefore, a note should be placed on the Final Plat limiting each lot to one curb cut each, with the size, design and location to be approved by County Engineering. Additionally, Lot 5 will have frontage on the future major street; therefore, access to the future street should be denied.

Overall, the site meets the minimum requirements of the Subdivision Regulations, but the site is complicated by its adjacency to the Magee Road planned major street, which will require a 100 foot right-of-way, and will therefore impact the overall site (Lots 5 though not necessarily reducing the lot to an unbuildable size). In addition to necessitating right-of-way dedication, or at least a large building setback, this would make street connections to the new major street highly desirable, especially due to the development of adjacent property, once developed, will likely include substantially more households, and should have more than one point of access (currently Whitestone Drive). Based on the plat, the most appropriate response to this future road would be the provision of a temporary turnaround on Whitestone Court, to become an outlet to Magee Road upon its construction as illustrated on the preliminary plat.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-

game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

A retention/detention area is depicted and labeled on the preliminary plat; however, a note should be placed on the Final Plat stating maintenance of these areas will be the responsibility of the property owners.

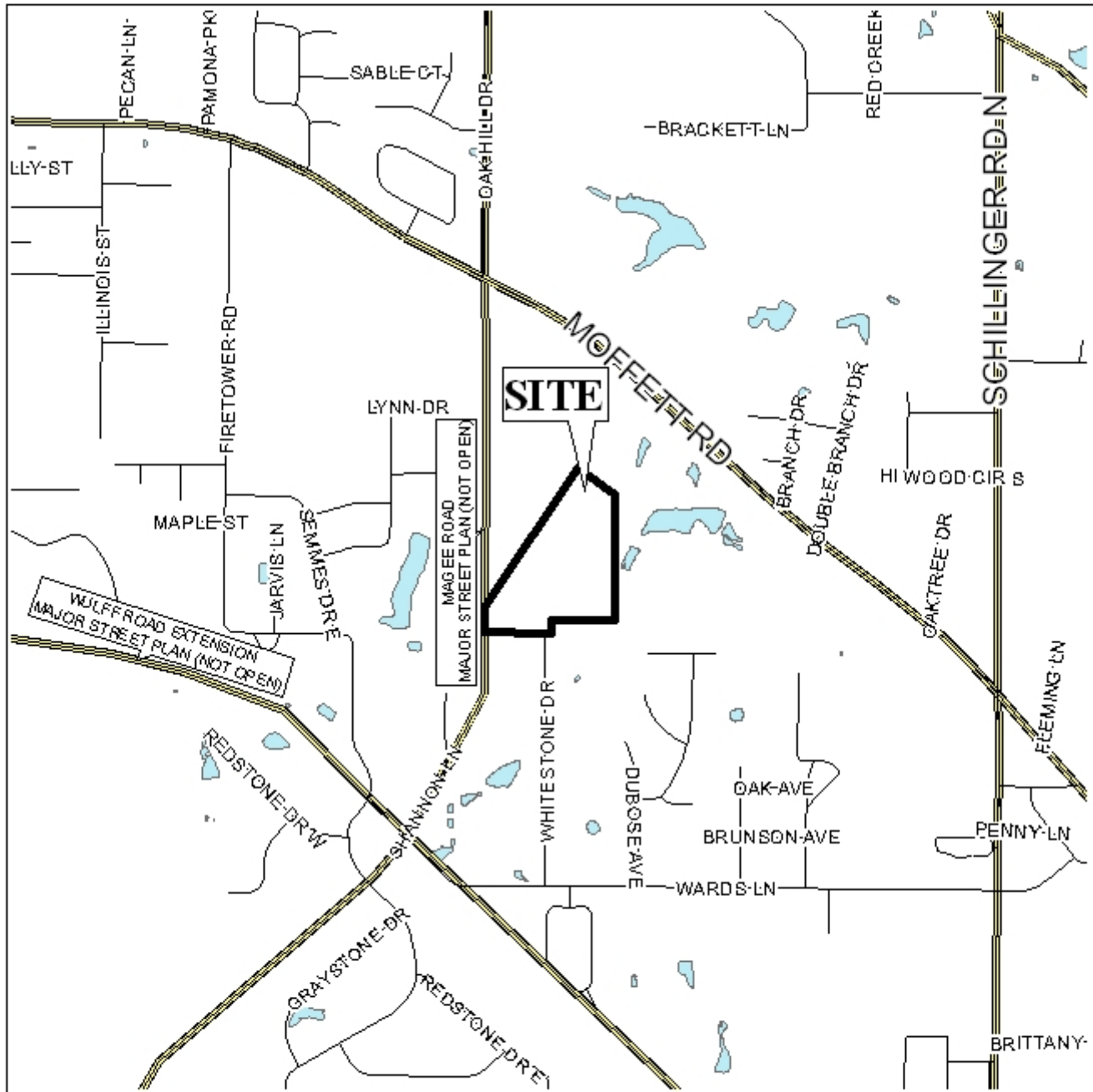
The site is located in the county; therefore, a note should be placed on the final plat stating that any lots developed commercially and adjoining residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

While the site is located in the county, compliance with the City of Mobile storm water and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's storm water and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Mobile Urban Development prior to the issuance of any permits.

Based on the preceding, the application meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) the placement of a note on the Final Plat limiting Lots 1, 10, 11, and 18 are corner lots; therefore, a note should be placed on the Final Plat limiting each lot to one curb cut each, with the size, design and location to be approved by County Engineering;
- 2) the placement of a note on the Final Plat stating that Lot 5 is denied access to the future major street;
- 3) placement of a note on the plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations;
- 4) placement of a note on the plat stating that provision of a certification letter from a licensed engineer to the Planning Section of Urban Development, certifying that the stormwater detention and drainage facilities comply with the City of Mobile stormwater and flood control ordinances, is required prior to the signing and recording of the final plat;
- 5) placement of a note on the plat stating that maintenance of the detention and common areas is the responsibility of the subdivision's property owners;
- 6) labeling of all lots with size in square feet, or placement of a table on the plat containing the lot size information;
- 7) certification via placement of a note on the plat stating that the property owner/developer will comply with all local, state and federal regulations regarding endangered, threatened or otherwise protected flora and fauna;
- 8) the provision of an easement to all common areas; and
- 9) the submission of a letter stating the compliance of Section V.D.2. of the Subdivision Regulations prior to the signing of the Final Plat or documentation from the developer stating the location and design of a centralized sanitary system to handle the wastewater of the subdivision

LOCATOR MAP



APPLICATION NUMBER 23 DATE January 17, 2008

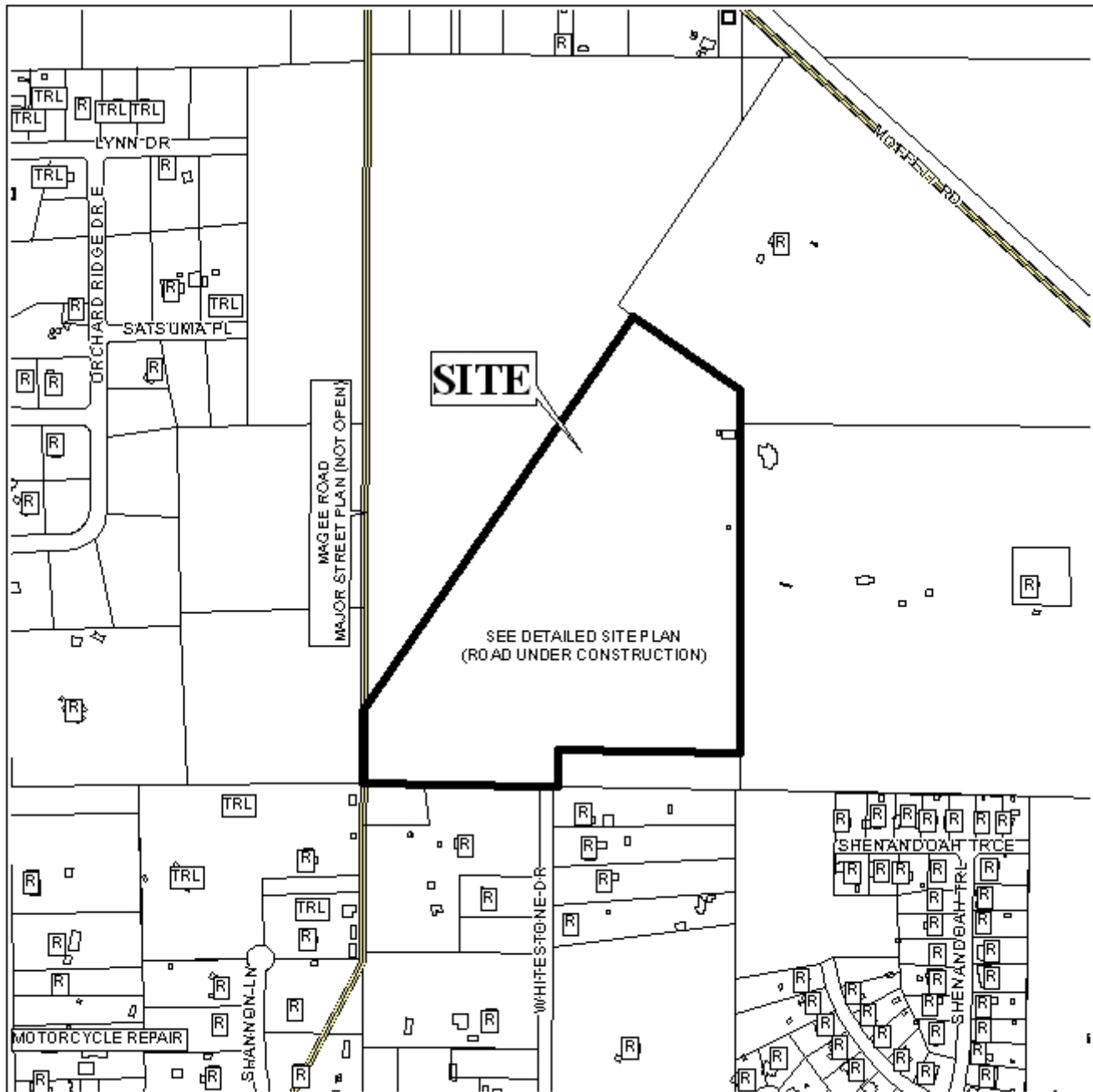
APPLICANT Whitestone Estates Subdivision

REQUEST Subdivision



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WHITESTONE ESTATES SUBDIVISION



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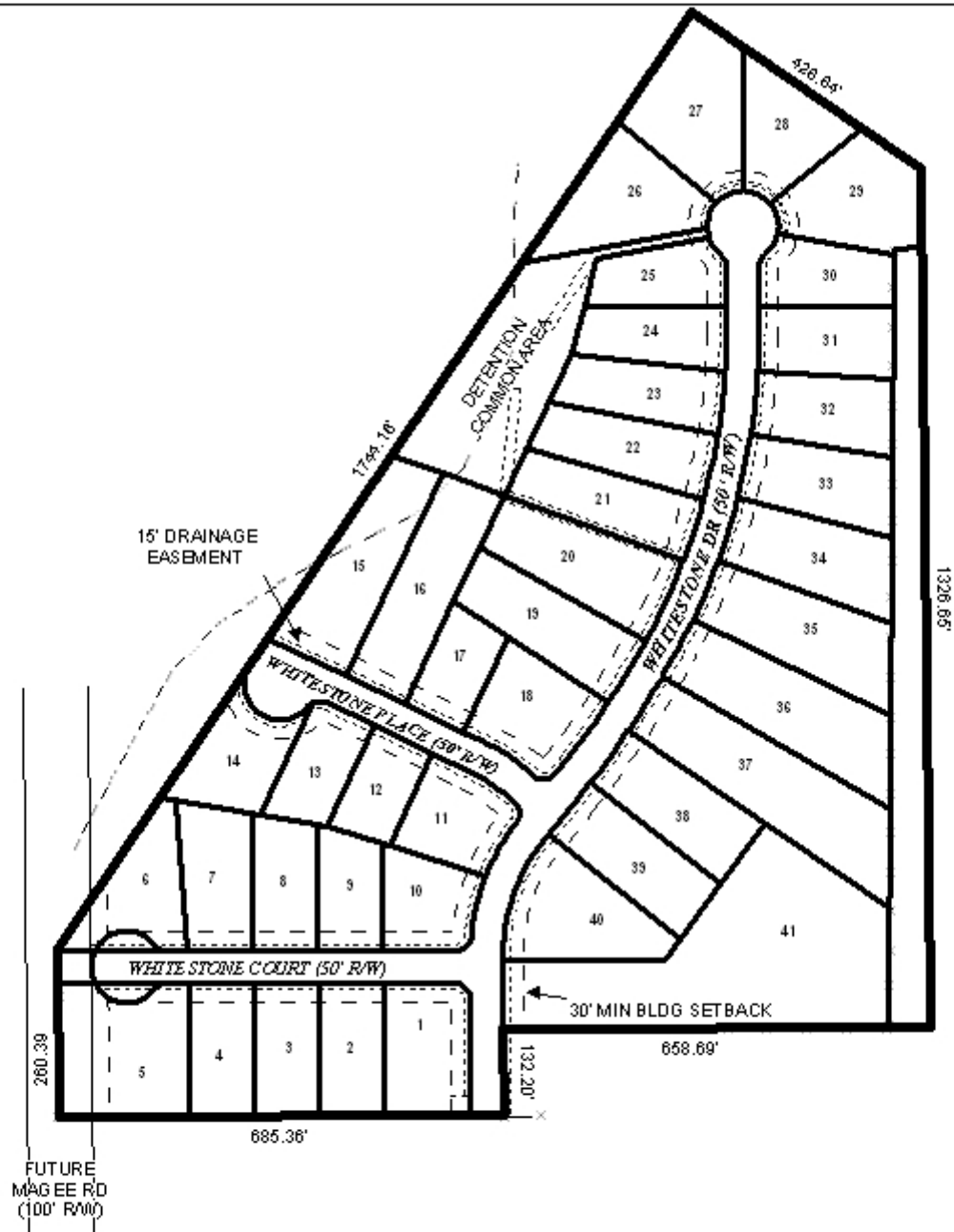
LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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DETAIL SITE PLAN



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REQUEST Subdivision



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