

## **WEBSTER SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 2 lot, 6.4 acre  $\pm$  subdivision which is located on Southwest corner of Zeigler Boulevard and Foster Road. The subdivision is served by private well and septic system.

The purpose of this application is to create two legal lots of record from three existing metes and bounds parcels. The applicant intends to expand the existing business located on the proposed Lot 1. Lot 2 is being utilized by a landscaping company, and includes an office trailer.

The site fronts Zeigler Boulevard Extension to the north, a minor street with adequate right-of-way, and Foster Road to the east, an unpaved minor street with a substandard right-of-way of 40 feet. The minimum right-of-way width for a minor street lacking curb and gutter, such as Foster Road, is 60 feet, or 30 feet in each direction as measured from the centerline of the right-of-way. Since the existing right-of-way does not meet the required minimum width, the dedication of an additional 10 feet of right-of-way should be required.

It should also be noted that Section V.D.5. of the Subdivision Regulations states, “*where necessary by reason of curb radii, property lines at street intersection corners shall be arcs having radii of at least 10 feet or shall be chords of such arcs.*” Therefore, the property line at the corner of Zeigler Boulevard Extension and Foster Road should be modified to comply with the above requirement.

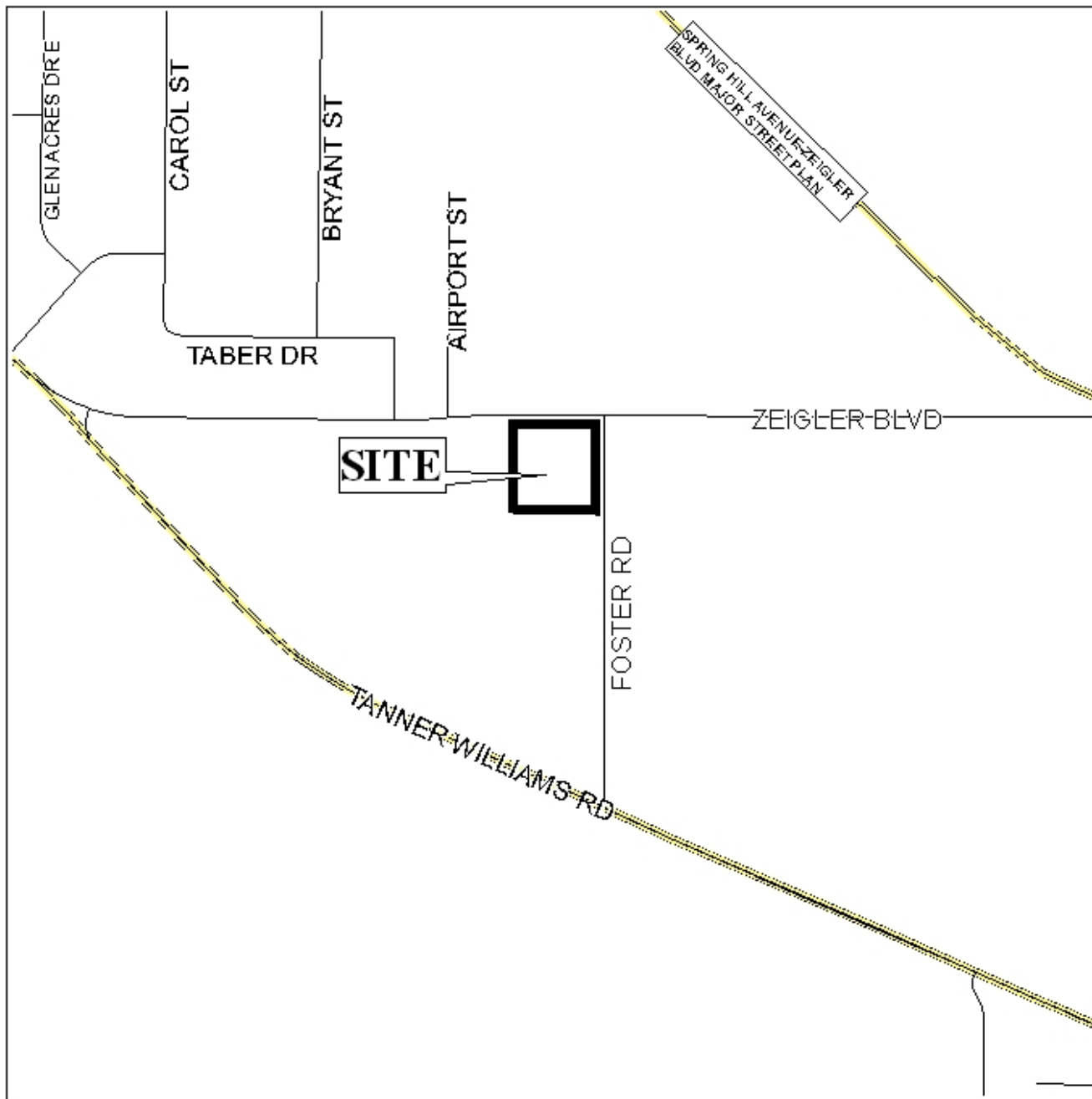
The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the Final Plat, if approved. The setback line should be depicted on both street frontages.

The proposed Lot 1 will be “L” shaped, having frontage on both Zeigler Boulevard Extension and Foster Road. Currently, the proposed Lot 1 has two curb cuts onto Zeigler, and no curb cuts onto Foster Road. It is recommended that no additional curb cuts be allowed onto Zeigler, and that one curb cut be permitted onto Foster once the road is paved to County standards from Zeigler south to the proposed curb cut onto Foster Road. The proposed Lot 2 will have frontage onto both Zeigler Boulevard Extension and Foster Road: the lot should be limited to one curb cut onto Zeigler, and up to two curb cuts onto Foster Road. The existing landscape business on Lot 2 appears to access Foster Road, as the business is located some distance from the Zeigler Road frontage. Additional curb cuts onto Foster Road should not be allowed until the road is paved to County standards from Zeigler south to the proposed curb cuts onto Foster Road. The size, design and location of all curb cuts must be approved by the Mobile County Engineering Department.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Based upon the preceding, the plat is recommended for Tentative Approval, subject to the following conditions: 1) the dedication of 10 feet of frontage along Foster Road, in compliance with Section V.B.14.; 2) depiction of the 25-foot minimum building setback line, as required by Section V.D.9.; 3) provision of a 10-foot radius curve or chord equivalent for the property lines at the corner of Zeigler Boulevard Extension and Foster Road, in conformance with Section V.D.5.; 4) placement of a note on the Final Plat stating that Lot 1 is limited to the existing curb cuts onto Zeigler Boulevard Extension, and one curb cut onto Foster Road contingent upon the paving of Foster Road to County standards to the curb cut location, and that Lot 2 is limited to one curb cut onto Zeigler Boulevard Extension, and two curb cuts onto Foster Road (including the existing curb-cut), with no additional curb-cuts onto Foster Road for Lot 2 until the road is paved to County standards to the curb cut locations, with the size, design and location of all curb cuts to be approved by the Mobile County Engineering Department; and 5) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

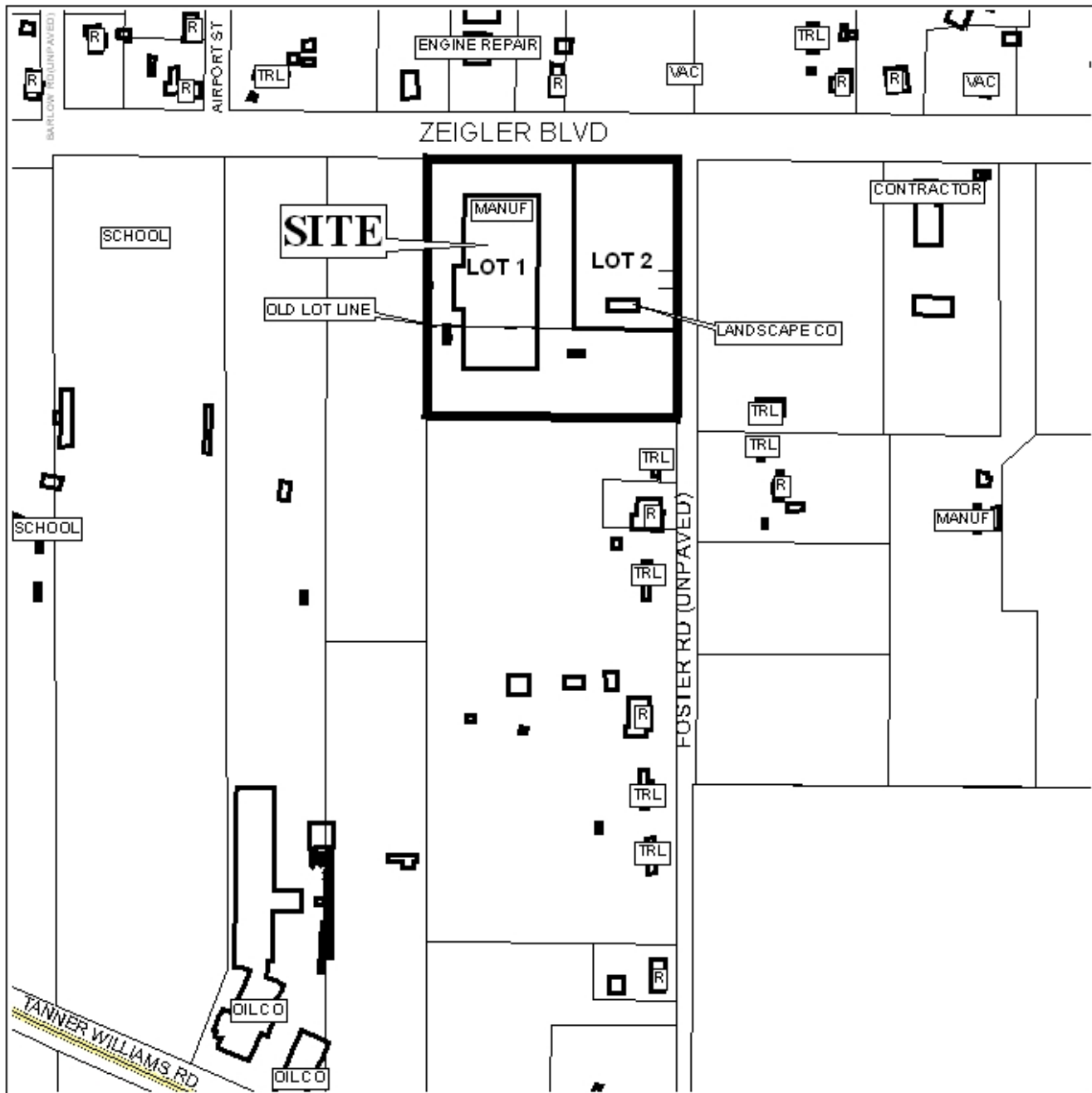
# LOCATOR MAP



APPLICATION NUMBER 22 DATE April 6, 2006  
APPLICANT Webster Subdivision  
REQUEST Subdivision



# WEBSTER SUBDIVISION



APPLICATION NUMBER 22 DATE April 6, 2006

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

N  
NTS