

TAYLOR POINTE SUBDIVISION,

UNIT TWO

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: No Comments

The plat illustrates the proposed 51-lot, 20.1± acre subdivision, which is located at the West terminus of Taylor Pointe Drive and is located within the planning jurisdiction. The site is served by public water and sanitary sewer.

This site originally was submitted as Hamilton Woods Subdivision, a 98-lot, 39.7± acre subdivision and approved by the Planning Commission at the May 4, 2006 meeting and extended by the Planning Commission for one-year at the May 3, 2007 meeting, where it was renamed to Taylor Pointe Subdivision. However, the applicant submitted Taylor Pointe, Unit One (47 lots) at the December 20, 2007 Planning Commission meeting to remove a condition to provide two traffic circles. The Planning Commission approved the request, and Unit One of the original development has been completed and staff has received the recorded Final Plat. The applicant then submitted the Taylor Pointe, Unit Two (50 lots) at the February 7, 2008 Planning Commission which was approved, and one-year extensions were granted at both the February 5, 2009 and February 4, 2010 meetings, with the approvals currently being expired.

The purpose of the application is to create 51-lots of record from one metes and bounds parcel. The plat labels the size of each lot in square feet, and all lots meet the minimum size requirements of Section V.D.2. of the Subdivision Regulations. This information should remain on the Final Plat, or a table should be provided depicting the same information.

There is a note on the preliminary plat stating that there will be 25-foot minimum building setbacks as required per Section V.D.9. of the Subdivision Regulations, however, the building setback line is required to be illustrated on the Final Plat.

As previously stated Unit One has been recorded; therefore, roads are constructed and street stubs are provided to the proposed development as well to the adjacent property to the North.

The site involves the creation of new streets which must be constructed and dedicated to County Engineering standards, including a street stub to the South. Most of these streets are short cul-de-sacs. The one main road is approximately 1200 feet long and straight, and would therefore require calming devices; the only kind of calming device that the County will accept is a traffic circle. Based on the length of the street, it is recommended that the main street feature one traffic circle as proposed; however, as proposed the street is illustrated as having a bump out, the developer should create an island illustrated as common area. However, the suitable location for this circle, and its size, location and design will ultimately be subject to County Engineering approval.

It should be noted that the Taylor Pointe Subdivision, Unit One provides a street stub to the adjacent property to the North. Due to the large size of the adjacent property, a street stub should be provided in the approximate location as the currently proposed detention area. A similar condition was required for the original Hamilton Woods Subdivision in 2006.

In addition, as a means of access management, a note should be placed on the Final Plat limiting each lot to one curb cut each, with the size, design and location to be approved by County Engineering and conform to AASHTO standards.

The plat illustrates a large detention area, therefore, all common and detention areas should be labeled and a note placed on the Final Plat stating that maintenance of common and detention areas will be property owners' responsibility.

The site is located in the County; thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

The site must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating "Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits." should be placed on the Final Plat.

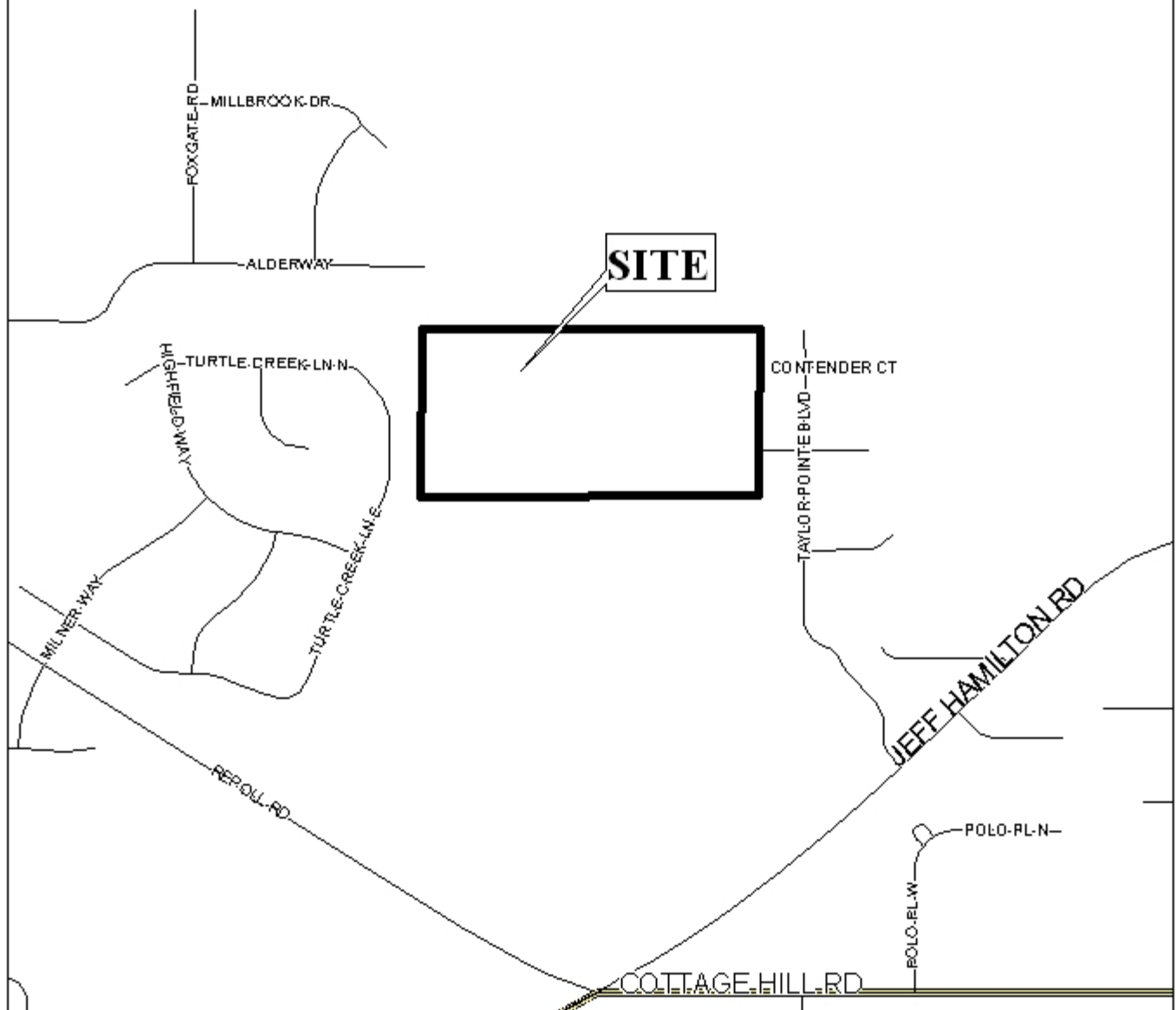
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) the provision of one traffic circle on Taylor Pointe Drive with the size, location, and design be approved by Mobile County Engineering and conform to AASHTO standards;

- 2) the provision of a street stub to the adjacent property to the North with the size, location, and design be approved by Mobile County Engineering and conform to AASHTO standards;
- 3) the placement of a note on the Final Plat stating that all lots are limited to one curb cut each, with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 4) the labeling of all common and detention areas and the placement of a note on the Final Plat stating that maintenance of common and detention areas will be property owners' responsibility;
- 5) the placement of a note on the Final Plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 6) illustration of the 25' minimum building setback line for all lots;
- 7) labeling of each lot with its size in square feet, or the provision of a table depicting the same information;
- 8) placement of a note on the Final Plat stating the site must comply with the City of Mobile storm water and flood control ordinances: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);*
- 9) compliance with Fire Department comments *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);* and
- 10) placement of a note on the Final Plat stating that approval of all applicable federal, state, and local agencies is required for endangered, threatened, or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

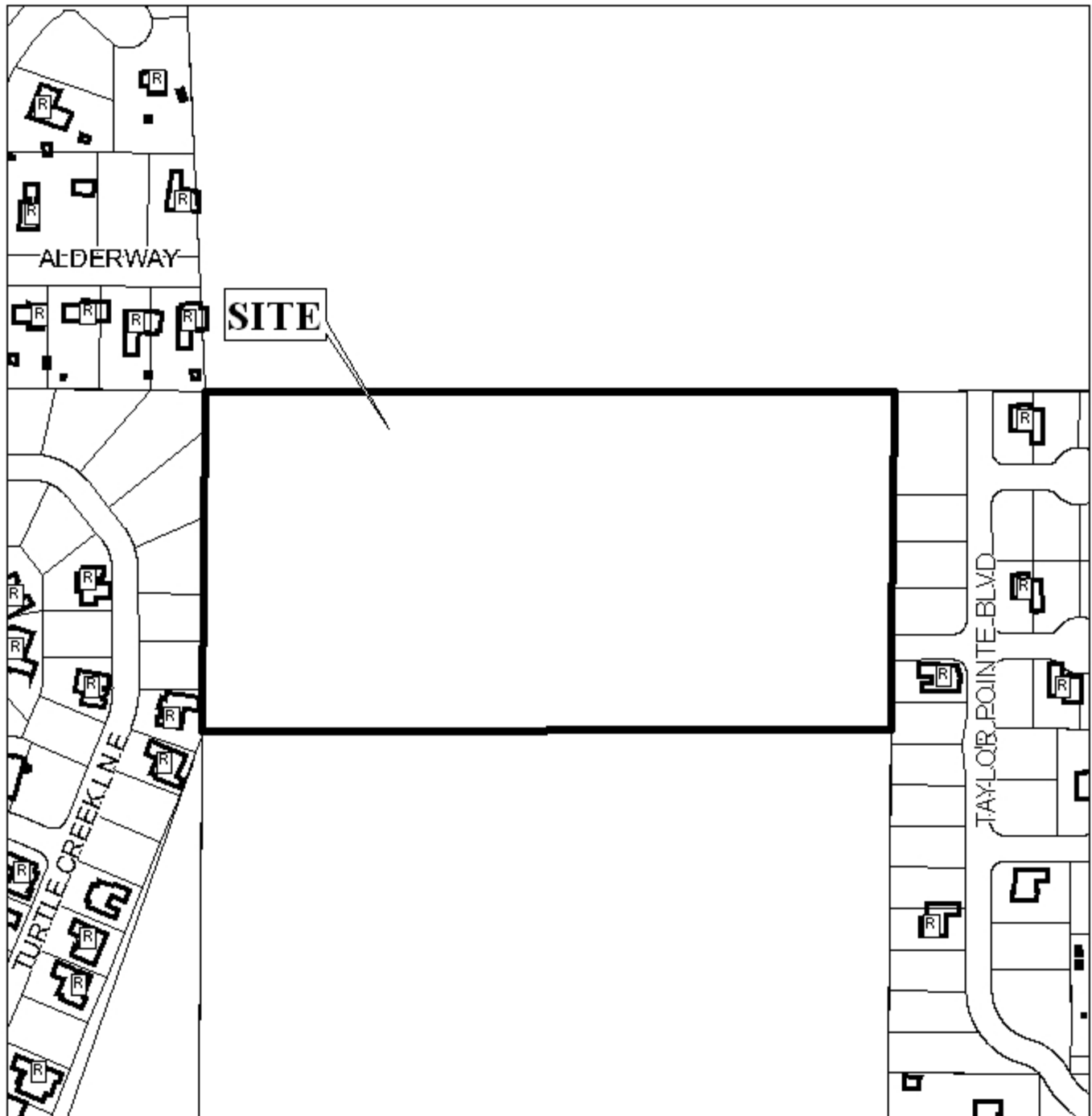
LOCATOR MAP



APPLICATION NUMBER 22 DATE October 4, 2012
APPLICANT Taylor Pointe Subdivision, Unit Two
REQUEST Subdivision



TAYLOR POINTE SUBDIVISION, UNIT TWO



APPLICATION NUMBER 22 DATE October 4, 2012

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

NTS

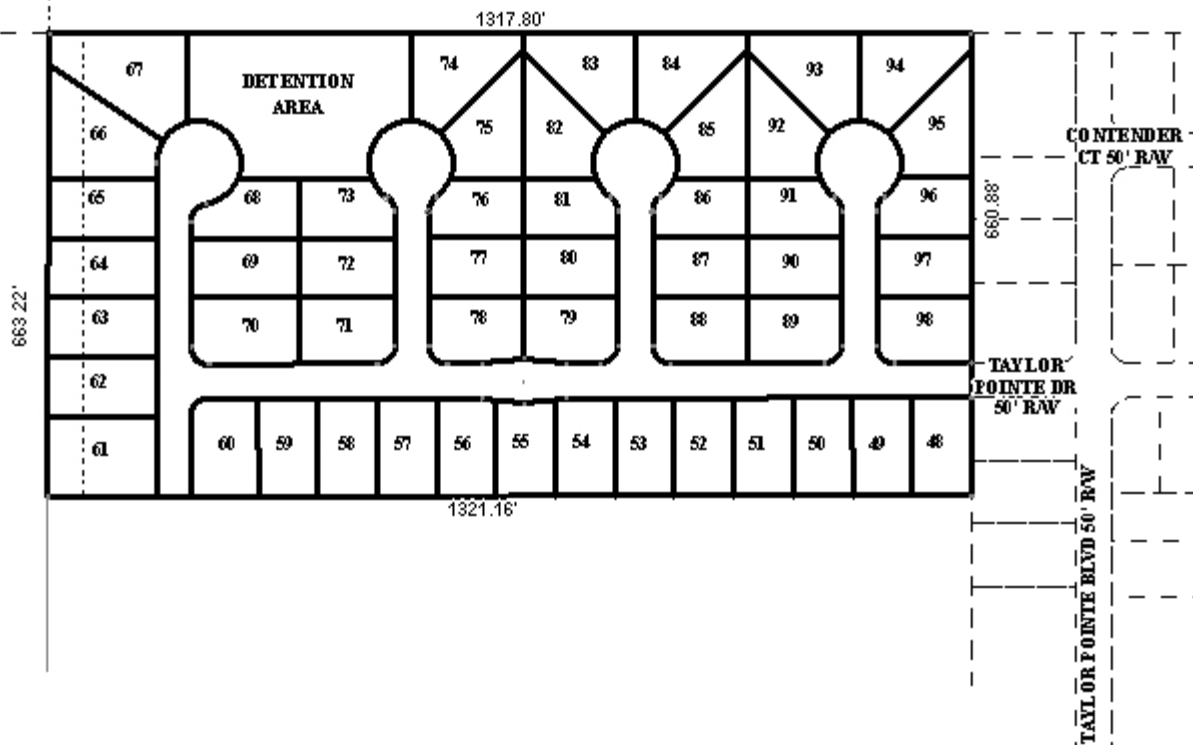
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DETAIL SITE PLAN



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REQUEST Subdivision