

TAYLOR POINTE SUBDIVISION, **UNIT TWO**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

MAWSS Comments: No comments received.

The plat illustrates the proposed 50-lot, 20.1± acre subdivision, which is located at the West terminus of Taylor Pointe Drive and is located within the planning jurisdiction. The site is served by public water and sanitary sewer.

This site originally was submitted as a 98 lot, 39.7± acre subdivision and approved by the Commission at the May 4th 2006 meeting and extended by the Commission for one-year at the May 3rd 2007 meeting. However, the applicant resubmitted the Phase One at the December 20th Commission meeting to remove a condition to provide a second traffic circle. The Commission approved the request and Phase One (47 lots) of the original development has been completed and staff has received the recorded Final Plat.

The purpose of the application is to create 50-lots of record from two metes and bounds parcels with a Future Development area.

As previously stated Unit One has been finalized; therefore, roads are constructed and street stubs are provided to the proposed development as well to the adjacent property to the North.

The site involves the creation of new streets which must be constructed and dedicated to County Engineering standards, including a street stub to the South. Most of these streets are short cul-de-sacs. The one main road is approximately 1200 feet long and straight, and would therefore require calming devices; the only kind of calming device that the County will accept is a traffic circle. Based on the length of the street, it is recommended that the main street feature one traffic circle as proposed; however, as proposed the street is illustrated as having bump outs, the developer should create an island illustrated as common area. The suitable location for this circle; however, size, location, and design will ultimately be subject to County Engineering approval.

In addition, as a means of access management, a note should be placed on the final plat stating that lots 69, 70, 77, 78, 87, 88, and 97 are corner lots therefore, a note should be placed on the Final Plat limiting each lot to one curb cut each, with the size, design and location to be approved by County Engineering and conform to AASHTO standards.

The plat illustrates a large common area, therefore, all common areas should be labeled and a note should be placed on the Final Plat stating that maintenance of common areas will be property owners' responsibility.

The site is located in the County; thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

While the site is located in the county, compliance with the City of Mobile stormwater and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Urban Development prior to the issuance of permits.

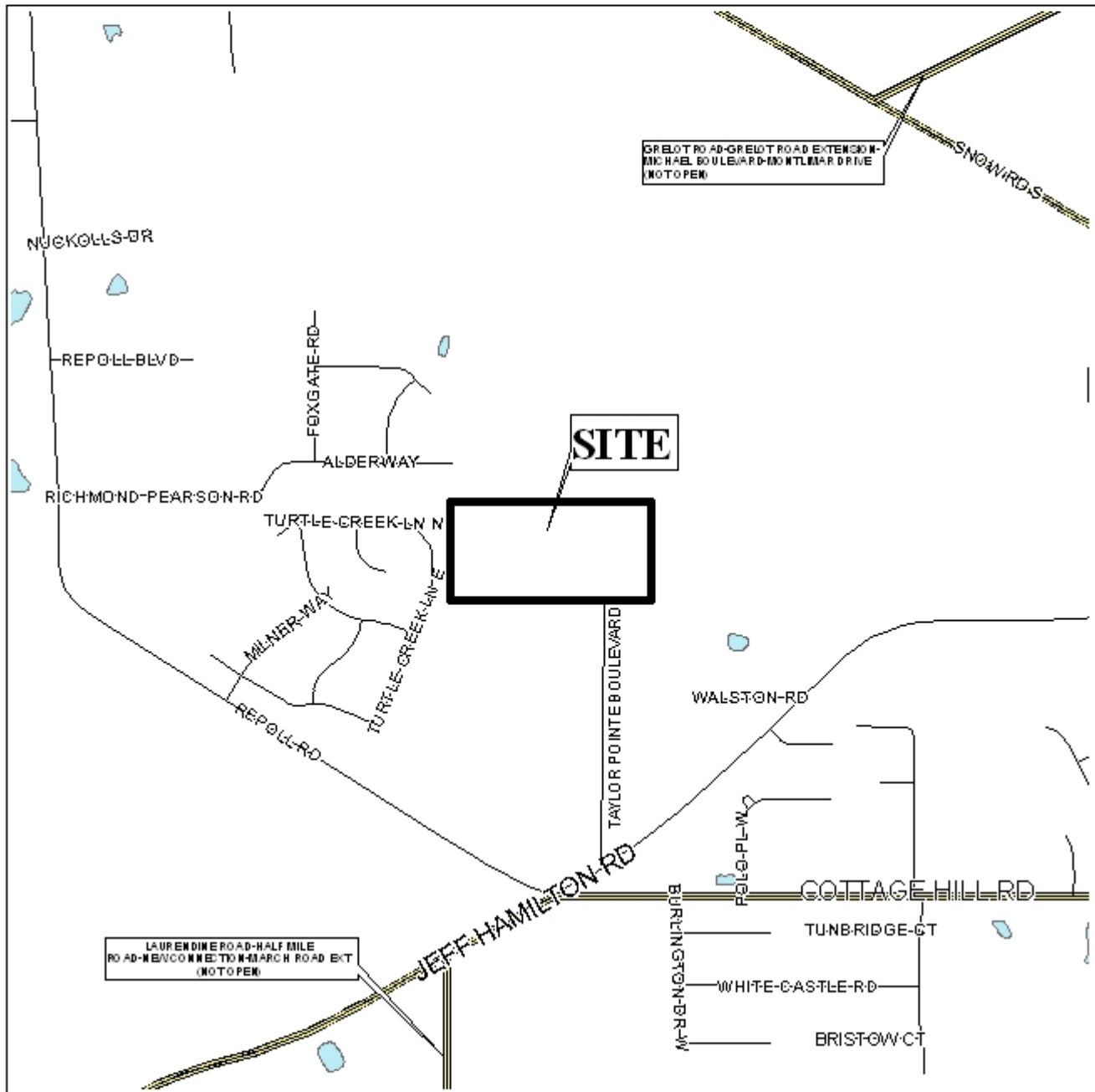
The site may contain federally listed endangered or threatened species, such as the gopher tortoise, or protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected flora and fauna.

The Final Plat should label each lot with its size in square feet, or a table should be provided depicting the same information.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) the provision of one traffic circle on Taylor Pointe Drive between lots 54 and 55, size, location, and design be approved by County Engineering and conform to AASHTO standards;
- 2) the placement of a note on the Final Plat stating that lots 69, 70, 77, 78, 87, 88, and 97 are corner lots and are limited to one curb cut each, with the size, design and location to be approved by County Engineering and conform to AASHTO standards;
- 3) the labeling of all common areas and the placement of a note on the final plat stating that maintenance of common areas will be property owners' responsibility;
- 4) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations;
- 5) labeling of each lot with its size in square feet, or the provision of a table depicting the same information;
- 6) the placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of a letter from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the signing of the final plat. Certification is to be submitted to the Planning Section of Urban Development and County Engineering; and
- 7) certification via placement of a note on the plat stating that the property owner/developer will comply with all local, state and federal regulations regarding endangered, threatened or otherwise protected flora and fauna.

LOCATOR MAP



APPLICATION NUMBER 22 DATE February 7, 2008

APPLICANT Taylor Pointe Subdivision, Unit Two

REQUEST Subdivision



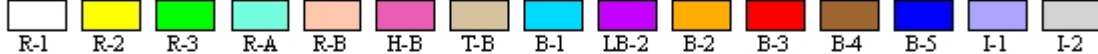
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TAYLOR POINTE, UNIT TWO SUBDIVISION



APPLICATION NUMBER 22 DATE February 7, 2008

LEGEND



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TAYLOR POINTE SUBDIVISION, UNIT TWO

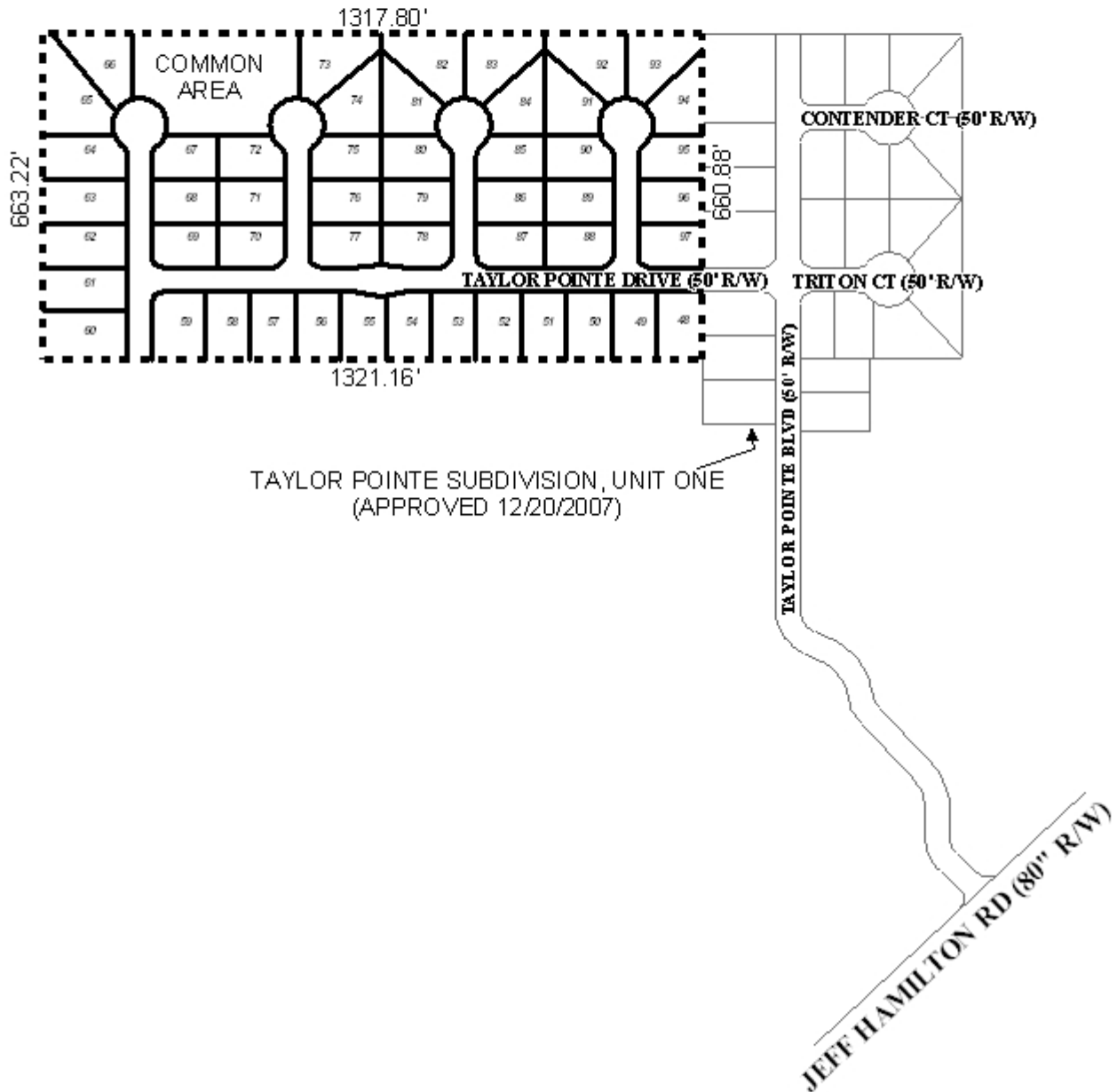


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DETAIL SITE PLAN



APPLICATION NUMBER 22 DATE February 7, 2008
 APPLICANT Taylor Pointe Subdivision, Unit Two
 REQUEST Subdivision



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