

## **MAGNOLIA SPRINGS SUBDIVISION,**

### **PHASE I**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for; therefore, MAWSS cannot guarantee sewer service until the Capacity Assurance application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 175-lot, 88.1± Acres, Phase One of Magnolia Springs Subdivision, which is located on the North side of Silver Pine Road, ½ mile ± West of Schillinger Road North, and is outside the city limits, but within the Planning Jurisdiction. The subdivision is served by public water and sanitary facilities.

A similar application for 172 lots was considered and approved by the Commission in June, 2007. However, the plat has been revised to increase the number of lots. While the revision only increases the number of lots by three, it is an increase nonetheless. As the application is virtually identical, the comments will remain virtually unchanged – with one exception.

The purpose of the application is to comply with the condition of the overall approval of Magnolia Springs Subdivision. The Commission required the submission and approval of individual applications for each phase or unit, to ensure that the development occurs in a manner as it was originally approved.

The overall site has been the subject of several previous subdivision applications, one for 101 lots and the one for 1,322 lots, and the most recent a multi-phased, 948 lot subdivision offering a variety of home sites. All applications were approved subject to several conditions. The application now before the Commission is for 175 lots, which the applicant is requesting to be considered as Phase One, which corresponds to the approved composite plat.

The new roads for the site are to be dedicated and constructed to meet County Engineering Standards. Additionally, since Lots A-8, A-9, A-26, B-1, B-20, B-45, B-46, C-41, C-42, C-51, C-52 and C-62 are corner lots, a note should be placed on the Final Plat stating that these are limited to one curb-cut each with the size, design and located to be determined by County Engineering.

The areas of open space are labeled as common area, as are areas of wetlands, islands or medians in the roadway, areas containing lakes and other amenities, as well as detention areas. All areas not designated as lots should be labeled as common areas, and a note should be required on the final plat, if approved, stating that maintenance of all common areas is the responsibility of the property owners (association).

This site is located in Mobile County, thus a note should be placed on the final plat stating that any lots which are developed commercially (or multi-family residential) and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

While the site is in the County, the applicant's engineer will be required to certify that the stormwater detention, drainage facilities, and release rate comply with the City of Mobile stormwater and flood control ordinances, prior to the signing and recording of the final plat, if approved. The plat should also be revised to depict lot sizes to be illustrated in square feet either through labeling or the provision of a table on the Final Plat.

Another issue that has become a recent concern of the Commission is that of access and traffic. While the composite for Magnolia Springs did not provide, nor did the Commission require a Traffic Impact Study, recent developments around the site and within the Planning Jurisdiction have brought the issue of traffic and the impact of new, large subdivisions to the forefront.

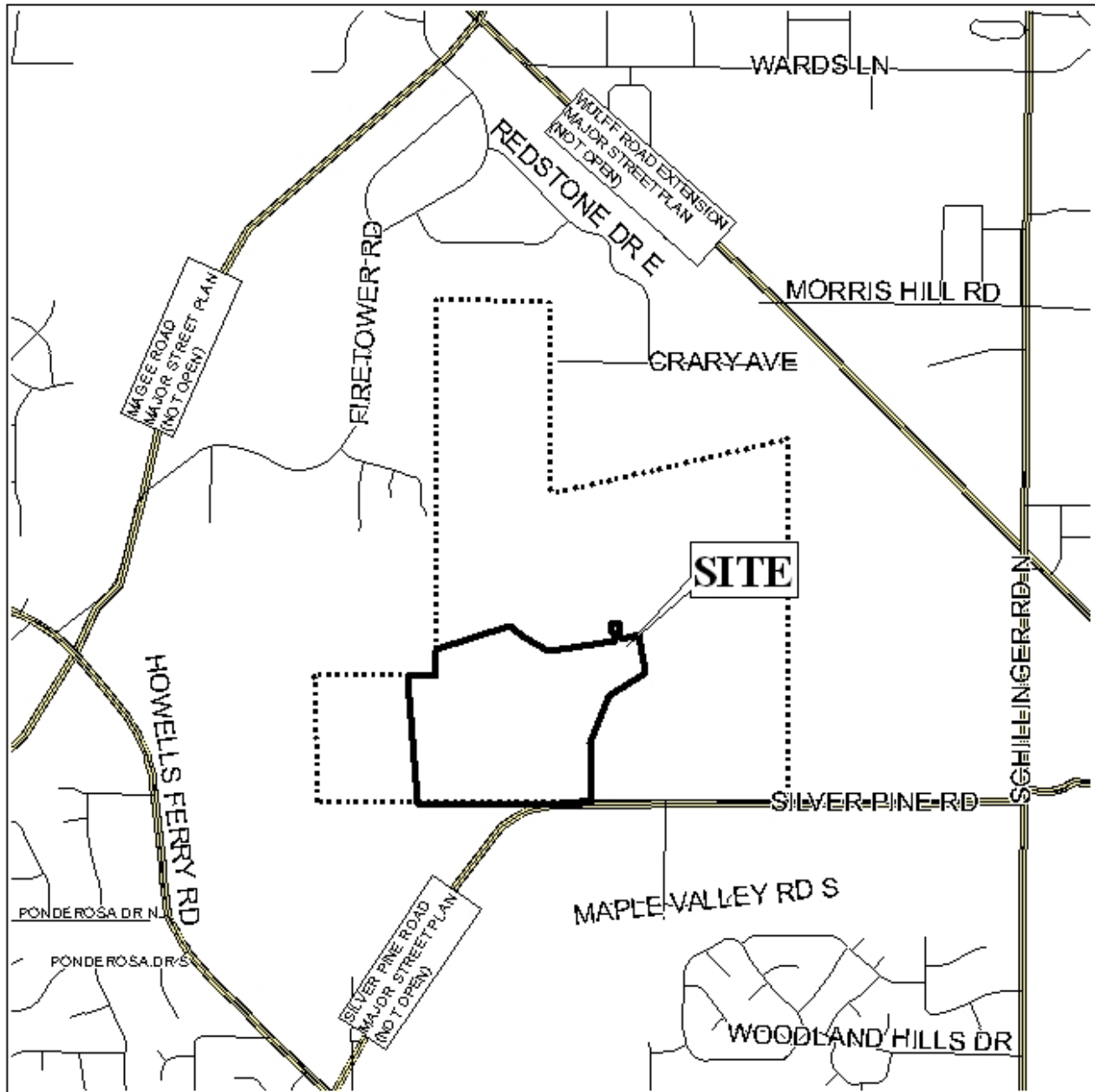
Given the approval of a virtually identical unit a mere six months ago (and which is still valid), requiring a Traffic Impact Study at this time would not be appropriate. However, given the total number of lots in the subdivision, and the limited access points, the provision of a Traffic Impact Study based on the entire composite development would be appropriate with the submission of the next phase application.

Based upon the preceding, it is recommended that the plat be considered under the innovative section of the Subdivision Regulations, and granted Tentative Approval subject to the following conditions:

1. dedication of sufficient right-of-way along Silver Pine Road to provide 50' from centerline for the portion on the Major Street Plan, and 30' from centerline for the remainder of the future frontage, as shown on the plat submitted;
2. the placement of a note on the Final Plat stating that A-8, A-9, A-26, B-1, B-20, B-45, B-46, C-41, C-42, C-51, C-52 and C-62 are corner lots, are limited to one curb cut, with the size, design and location to be determined by County Engineering;
3. submission and approval of individual applications for each phase or unit, to ensure that development occurs in a manner to provide the most points of access in a timely and efficient manner;
4. submission of a Traffic Impact Study based on the entire composite development with the submission of the next phase application
5. all proposed roads be constructed to county standards, and dedicated to Mobile County;

6. all areas not designated as lots should be labeled as common areas (including wetlands and detention areas), and a note placed on the final plat stating that maintenance of all common areas is the responsibility of the property owners (association);
7. placement of a note on the final plat stating that any lots which are developed commercially (or multi-family residential) and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations;
8. Placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of a letter from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the signing of the final plat. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
9. Depiction of the 25-foot minimum building setback line on all lots and common areas, on the final plat;
10. Placement of a note on the final plat stating that the maintenance of all common areas shall the responsibility of the property owners;
11. Compliance with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, particularly as applied to the subdivision layout, design and road construction, to be verified by Mobile Fire-Rescue; and
12. labeling of all lots with size in square feet, or placement of a table on the plat containing the lot size information.

## LOCATOR MAP

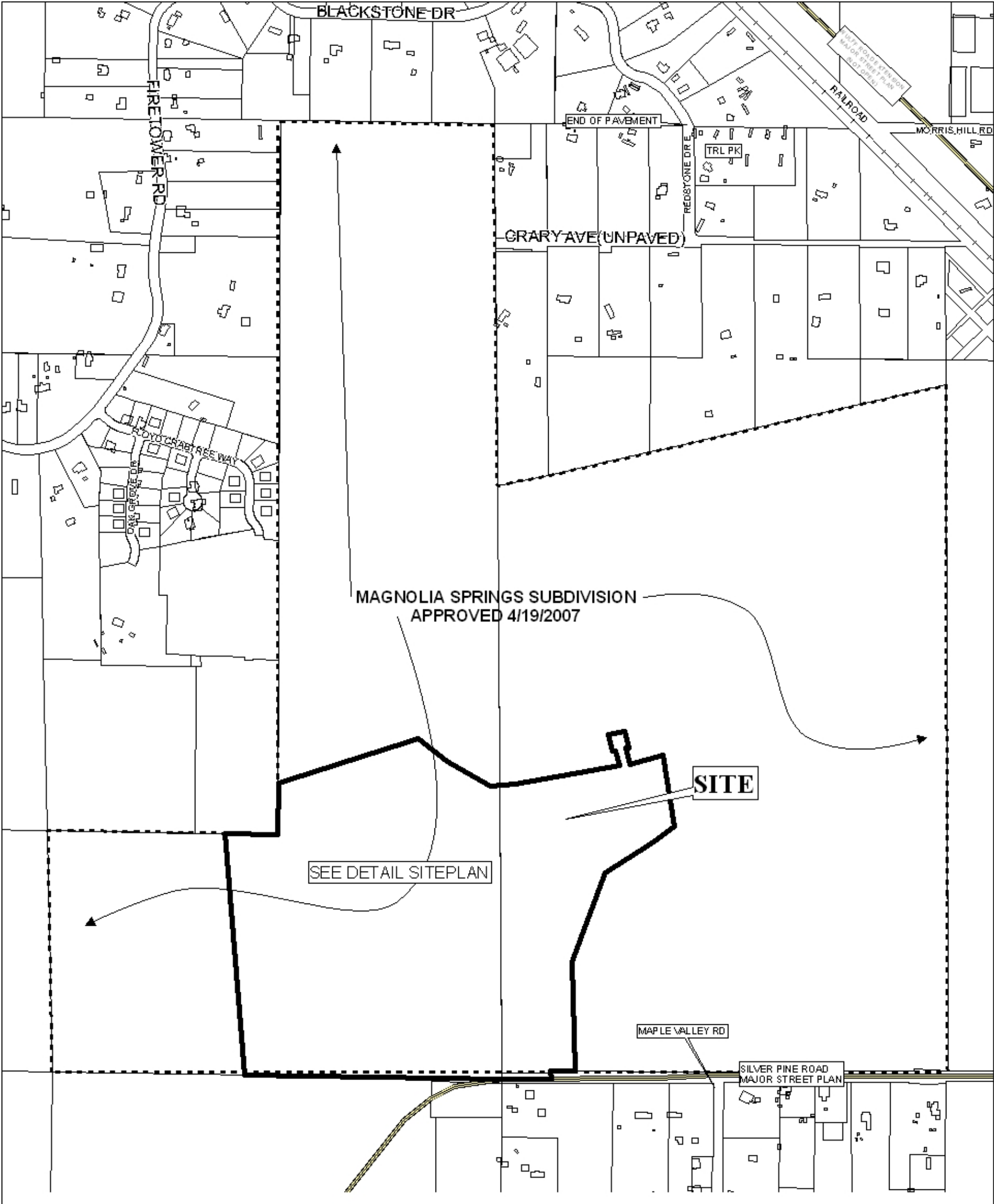


APPLICATION NUMBER 22 DATE November 15, 2007  
APPLICANT Magnolia Springs Subdivision, Phase One  
REQUEST Subdivision



NTS

**MAGNOLIA SPRINGS SUBDIVISION, PHASE ONE**



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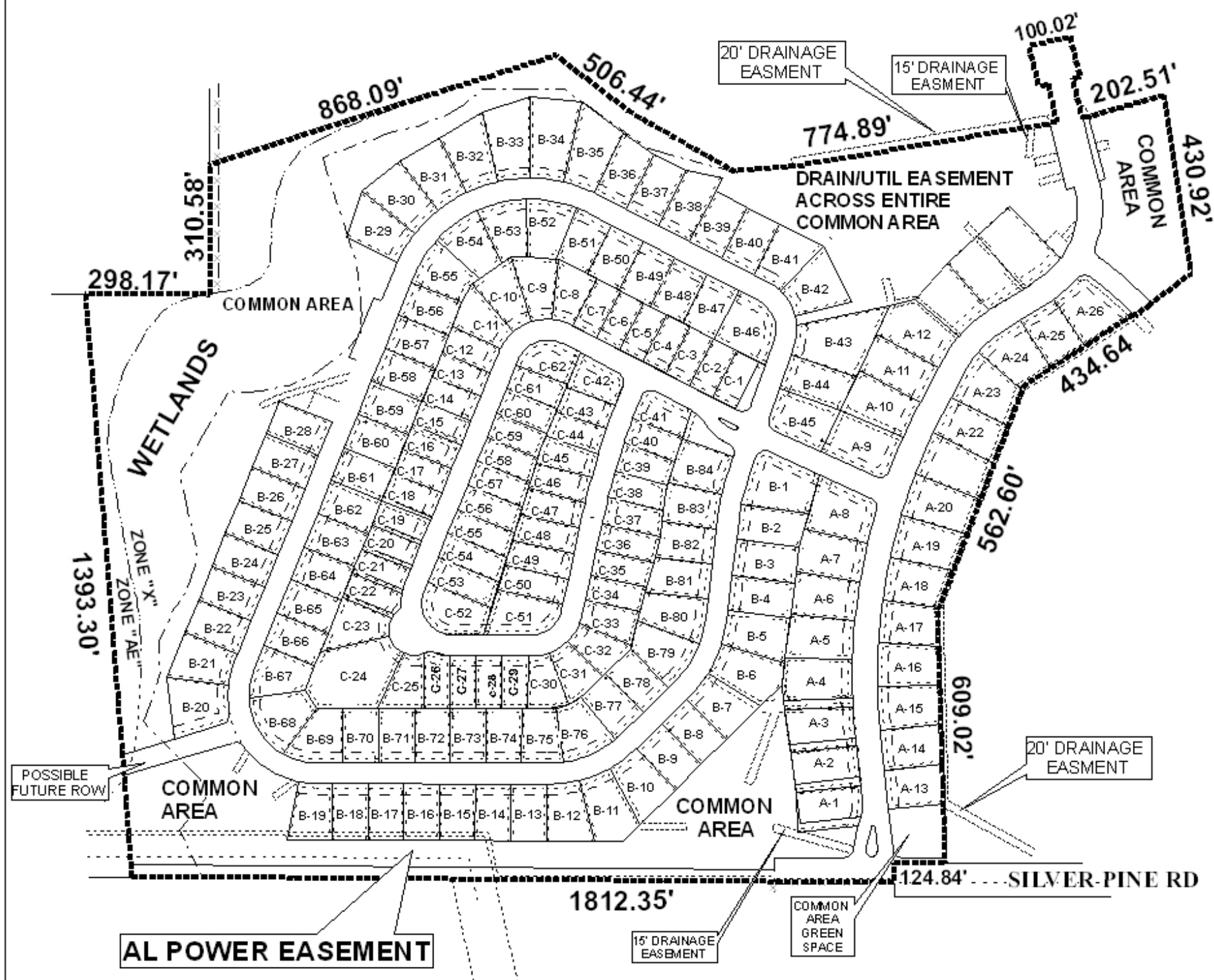
LEGEND

A color calibration bar consisting of 15 rectangular color patches arranged horizontally. Each patch is labeled below it with a code: R-1 (white), R-2 (yellow), R-3 (green), R-A (cyan), R-B (light orange), H-B (magenta), T-B (brown), B-1 (blue), LB-2 (purple), B-2 (orange), B-3 (red), B-4 (dark brown), B-5 (dark blue), I-1 (light purple), and I-2 (grey).



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DETAIL SITE PLAN



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