

BROWN/HANBERG ESTATES SUBDIVISION

Engineering Comments: It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code.

Mobile Area Water & Sewer System Comments: No comments.

The plat illustrates the proposed 0.8± acre, two-lot subdivision, which is located on the West side of Cedar Crescent, at the West terminus of South Drive, in city council district 3. The subdivision is served by public water and sanitary facilities.

The purpose of this application is to subdivide an existing lot of record into two lots of record.

On the plat, Cedar Crescent is labeled as “Cedar Crescent Drive” and this should be corrected to read “Cedar Crescent” on the final plat.

The site exceeds the maximum width to depth ratio as recommended by Section V.D.3. of the Subdivision Regulations. However, narrow, deep lots are typical in this neighborhood; thus a waiver of V.D.3. would be appropriate.

The site fronts on Cedar Crescent; therefore a note should be placed on the final plat stating that each lot is limited to one curb cut with the size, location, and design to be approved by Traffic Engineering.

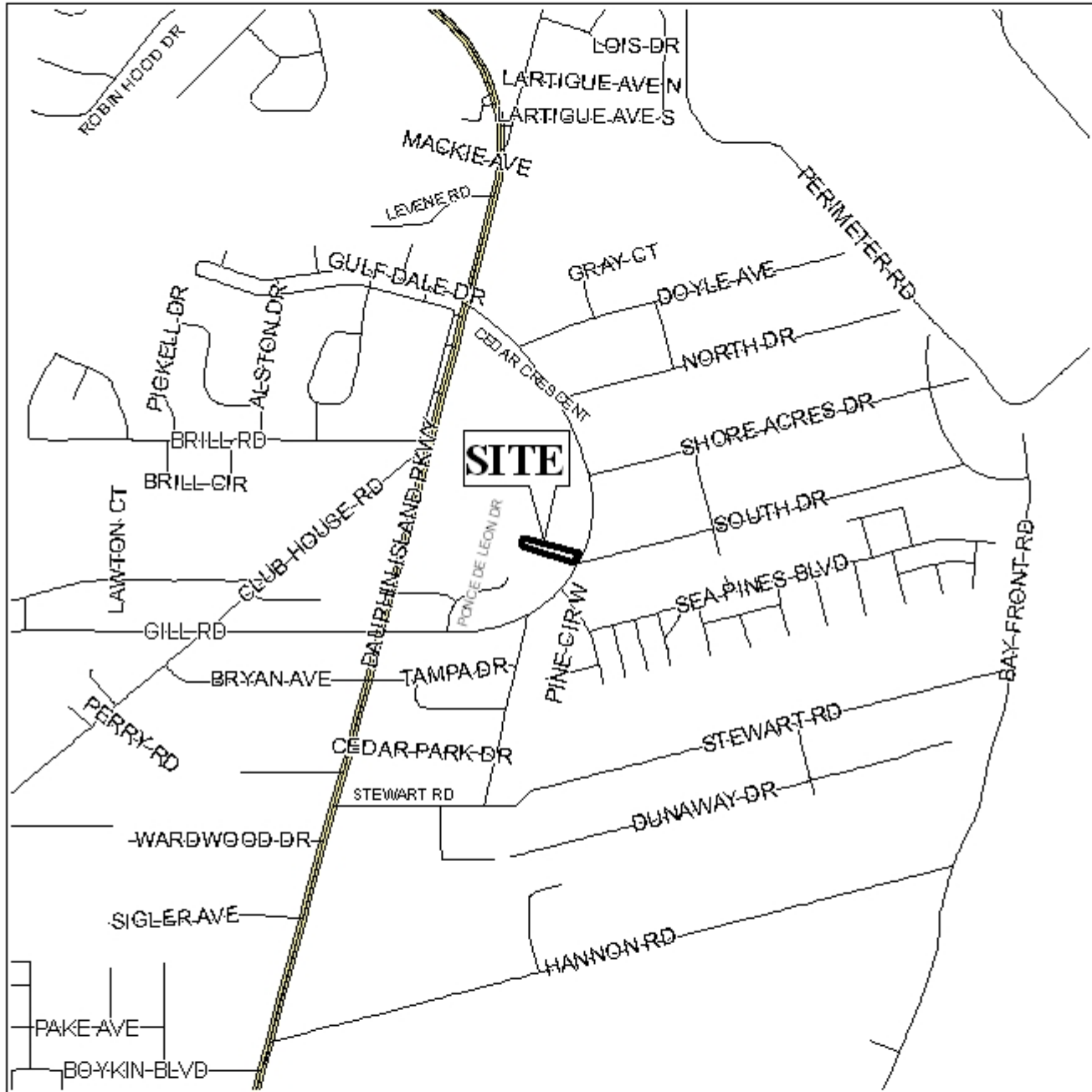
The 25' minimum building setback lines for both the front and rear lots are indicated on the plat, and these should also be indicated on the final plat.

No square footage for each lot is indicated on the plat submitted; therefore, the plat should be revised to label each lot with its size in square footage, or there should be the provision of a table on the plat depicting the same information.

With a waiver of Section V.D.3. (width to depth ratio), the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions:

- 1) correction of the street name label to “Cedar Crescent” instead of “Cedar Crescent Drive”;
- 2) placement of a note on the Final Plat stating that each lot is limited to one curb cut with the size, location, and design to be approved by Traffic Engineering;
- 3) depiction of the 25’ minimum building setback lines for each lot as shown on the preliminary plat;
- 4) revision of the plat to label each lot with its size in square feet, or provision of a table on the plat depicting the same information; and
- 5) subject to the Engineering Comments (*It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit*).

LOCATOR MAP



APPLICATION NUMBER 22 DATE July 19, 2007

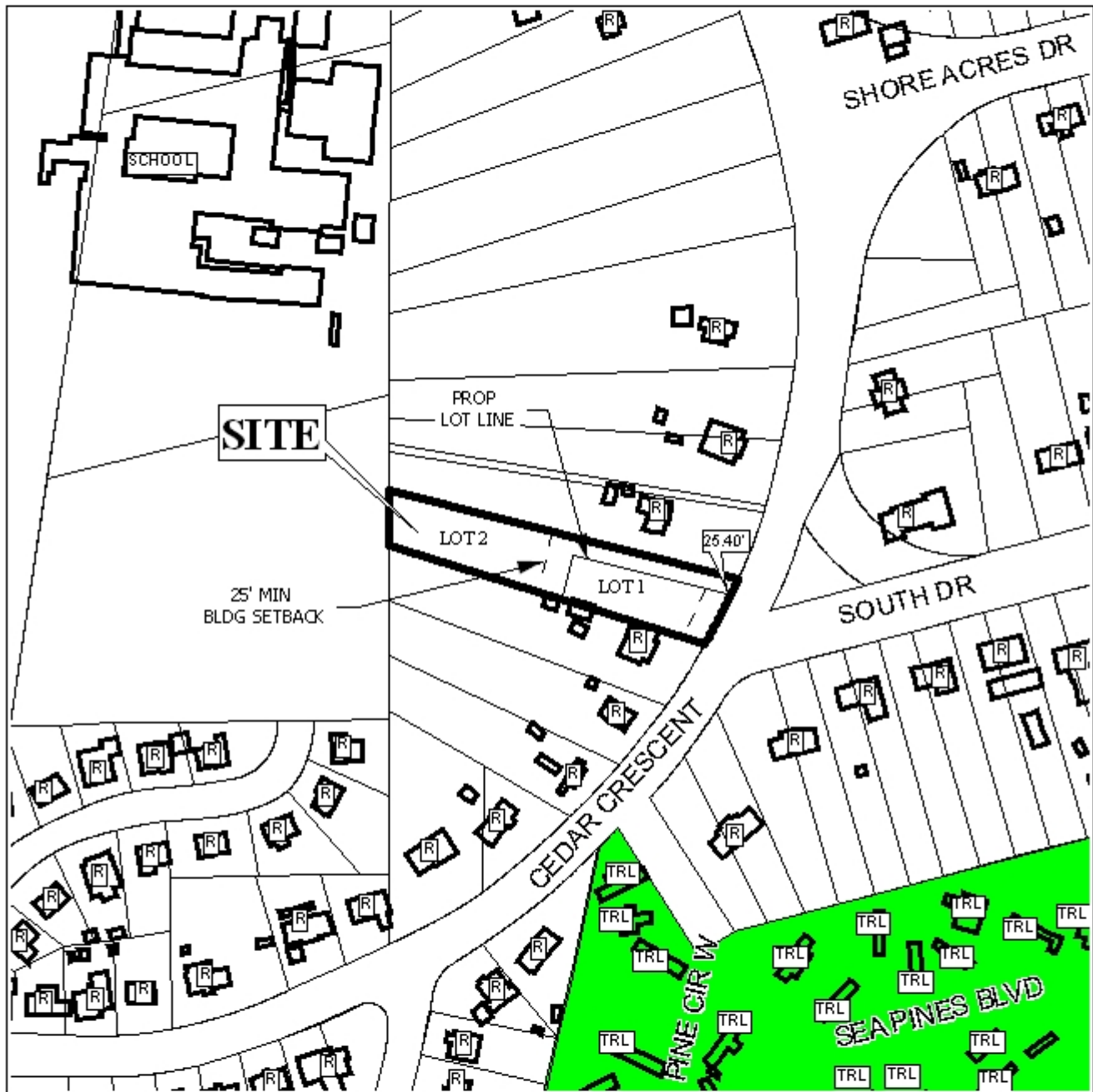
APPLICANT Brown/Hanberg Subdivision

REQUEST Subdivision



NTS

BROWN/HANBERG SUBDIVISION



APPLICATION NUMBER 22 DATE July 19, 2007

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
-----	-----	-----	-----	-----	-----	-----	-----	------	-----	-----	-----	-----	-----	-----



NTS