

**PLANNING APPROVAL &
PLANNED UNIT DEVELOPMENT
STAFF REPORT**

Date: May 1, 2008

<u>NAME</u>	Spring Hill College (Dr. Charmaine May, Agent)
<u>LOCATION</u>	4000 Dauphin Street (North side of Dauphin Street, 1,800'+ West of Interstate 65)
<u>CITY COUNCIL DISTRICT</u>	District 7
<u>PRESENT ZONING</u>	R-1, Single-Family Residential
<u>AREA OF PROPERTY</u>	364± Acres
<u>CONTEMPLATED USE</u>	Planning Approval to amend a previously approved Planning Approval to allow to allow softball field facilities relocations and a new field house/locker room; and Planned Unit Development Approval to amend a previously approved master Plan for an existing college in an R-1, Single-Family Residential district.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	Engineering will require stormwater detention for all proposed impervious surfaces, even if currently paved, to alleviate downstream flooding. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.
<u>URBAN FORESTRY COMMENTS</u>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

FIRE DEPARTMENT

COMMENTS

All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

REMARKS

The applicant is requesting Planning Approval to allow the relocation of existing softball field facilities and the construction of a new field house/locker room. While the Zoning Ordinance does not technically allow a college or university in an R-1 district, Spring Hill College has operated at this location for well over 100 years, and thus enjoys a nonconforming status. Moreover, it was determined several years ago that Planning Approval, in conjunction with Planned Unit Development approval, would be the most appropriate avenue of consideration for additions and/or changes to this historic college campus.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development (PUD) review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

It is very important to note that both the Planning Approval and the Planned Unit Development reviews are site plan specific; therefore any future changes (parking, structure expansion, etc.) must be resubmitted for Planning Approval and Planned Unit Development review, and be approved through the planning process.

As the reviews for Planning Approval and Planned Unit Development approval are similar, the analysis/remarks for both applications will be consolidated.

It is the intent of the Planning Approval Master Plan approval to depict fairly accurate locations of building(s), parking, and road(s) to ensure adequate access, parking, orderly and appropriate development; and to shield adjacent properties from potential adverse impact(s) of the development. However, as the Master Plan may only be "fairly accurate", the construction of individual buildings, parking, and accesses to these additions/expansions should obtain PUD approval prior to permitting to definitively locate the improvements and illustrate their relationship with the existing development. The individual PUD approvals would ensure

adequate access to the proposed building, as well as compliance with the Zoning Ordinance requirements, including but not limited to parking, landscaping and tree requirements.

The site plan illustrates the existing pitching cage, softball field and dugouts, the relocation of the batting cage and the addition of the field house/locker room. Since this addition is intended to provide locker room and a field house for the colleges' softball program and will not increase the overall enrollment, the addition is considered insignificant in the overall campus plan. Therefore, no additional requirements, such as parking, landscaping and tree would be required.

RECOMMENDATION

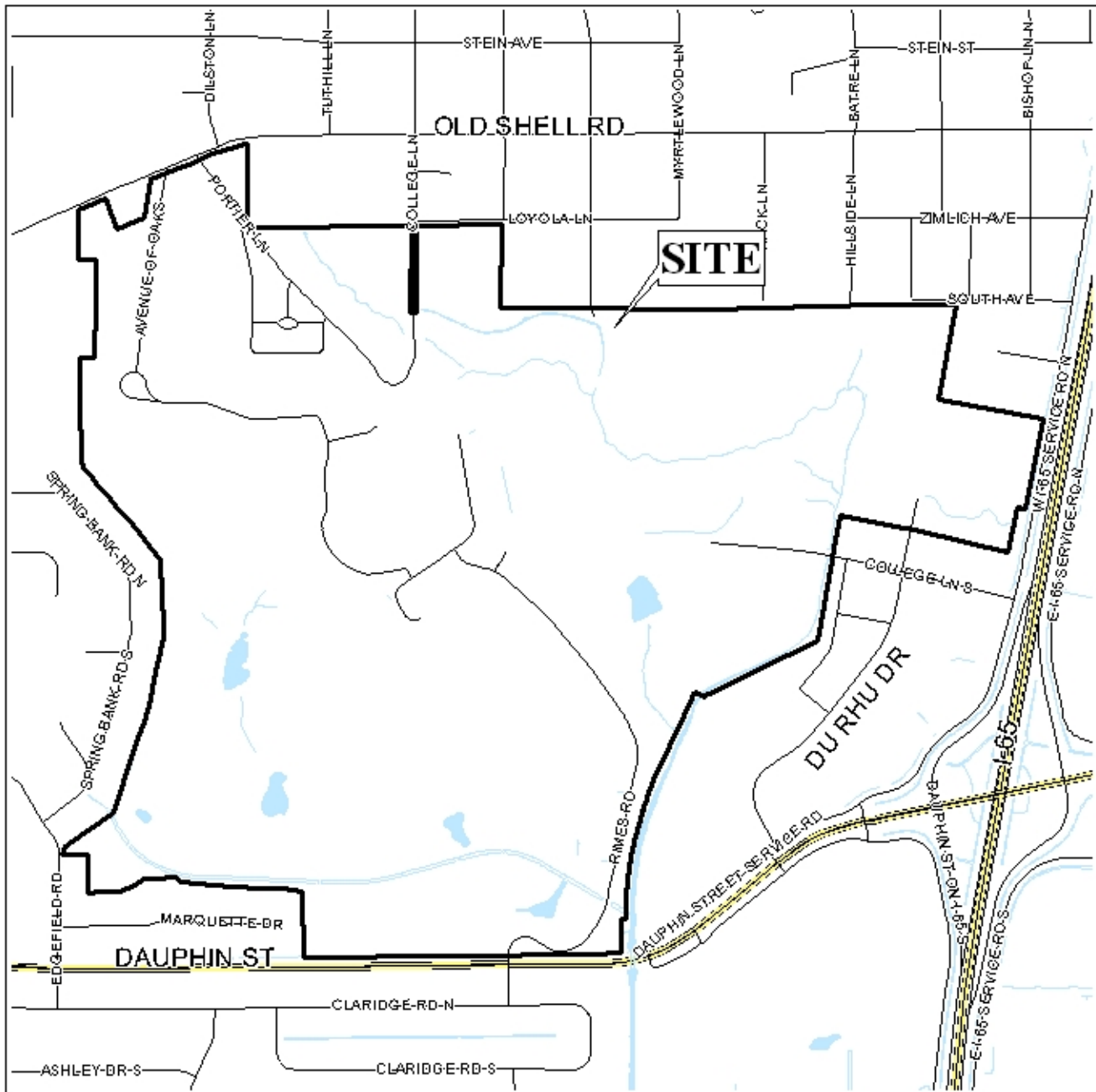
Planning Approval: Based upon the preceding, this request is recommended for Approval, subject to the following condition:

- 1) the submission of a site plan illustrating the addition of the locker room/field house to the Permitting Section for approval by the Planning Section of Urban Development as part of the permitting package.

Planned Unit Development: Based upon the preceding, this request is recommended for Approval, subject to the following condition:

- 1) the submission of a site plan illustrating the addition of the locker room/field house to the Permitting Section for approval by the Planning Section of Urban Development as part of the permitting package.

LOCATOR MAP



APPLICATION NUMBER 22 & 23 DATE May 1, 2008

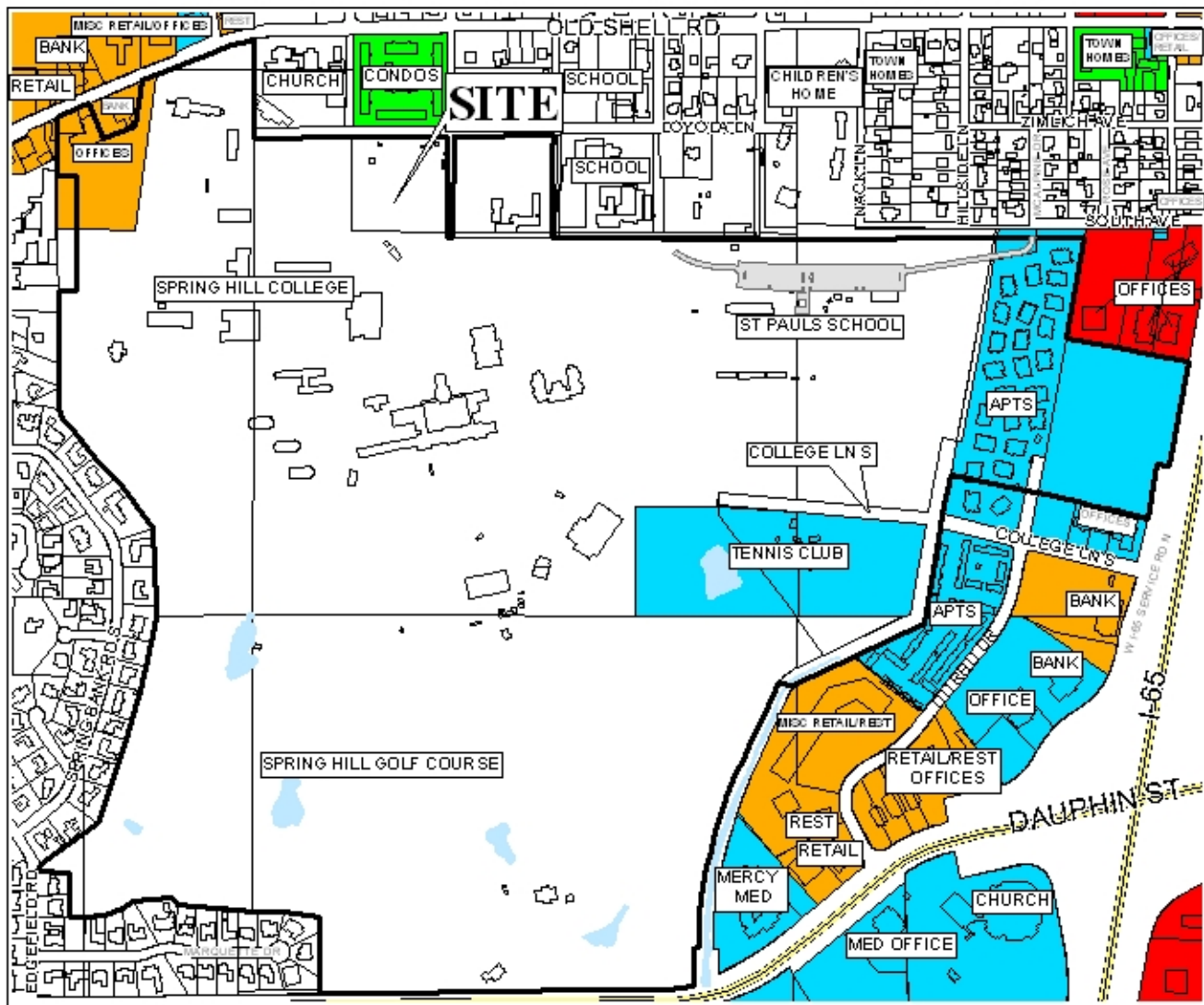
APPLICANT Spring Hill College (Dr. Charmaine May, Agent)

REQUEST Planned Unit Development, Planning Approval



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential units are located to the west and north of the site. Offices, retail establishments, banks, and medical offices are located to the east, south and north of the site. A church, school, and childrens home are located to the north of the site.

APPLICATION NUMBER 22 & 23 DATE May 1, 2008

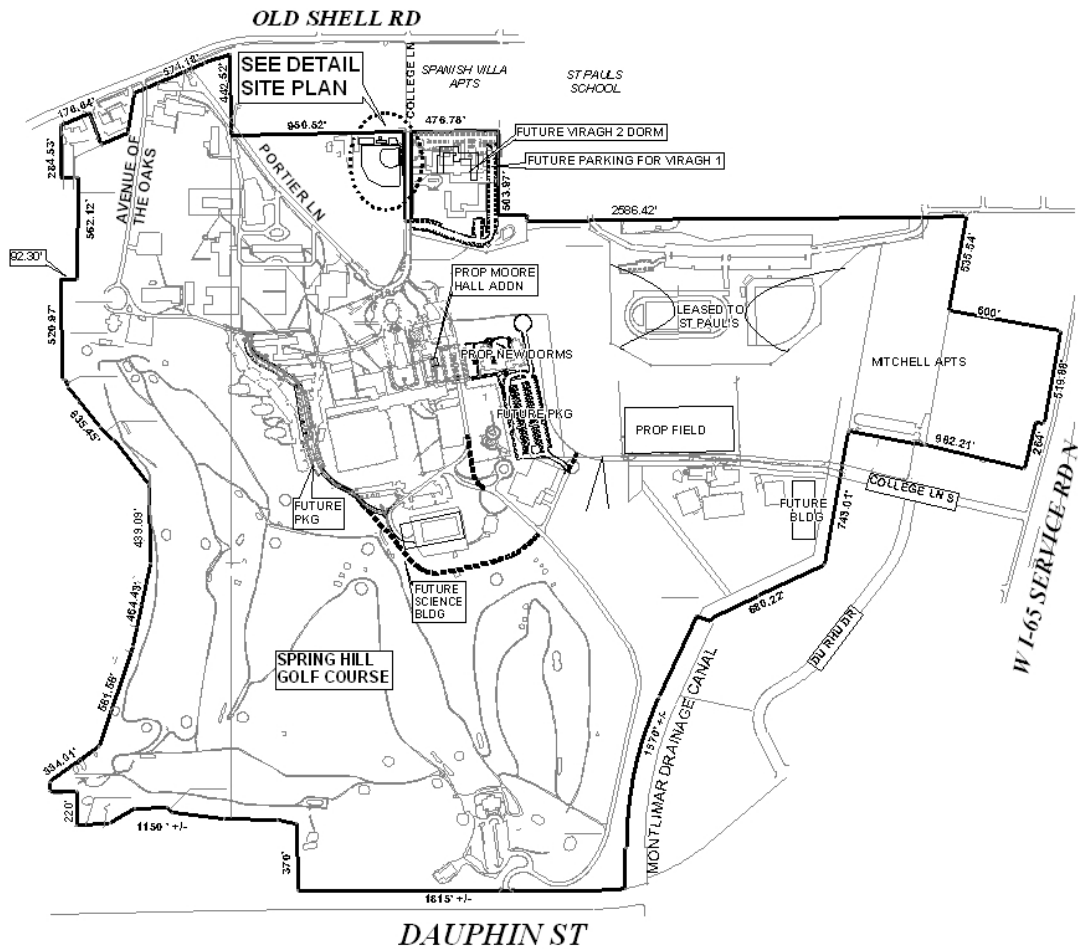
APPLICANT Spring Hill College (Dr. Charmaine May, Agent)

REQUEST Planned Unit Development, Planning Approval

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
-----	-----	-----	-----	-----	-----	-----	-----	------	-----	-----	-----	-----	-----	-----	-----

SITE PLAN

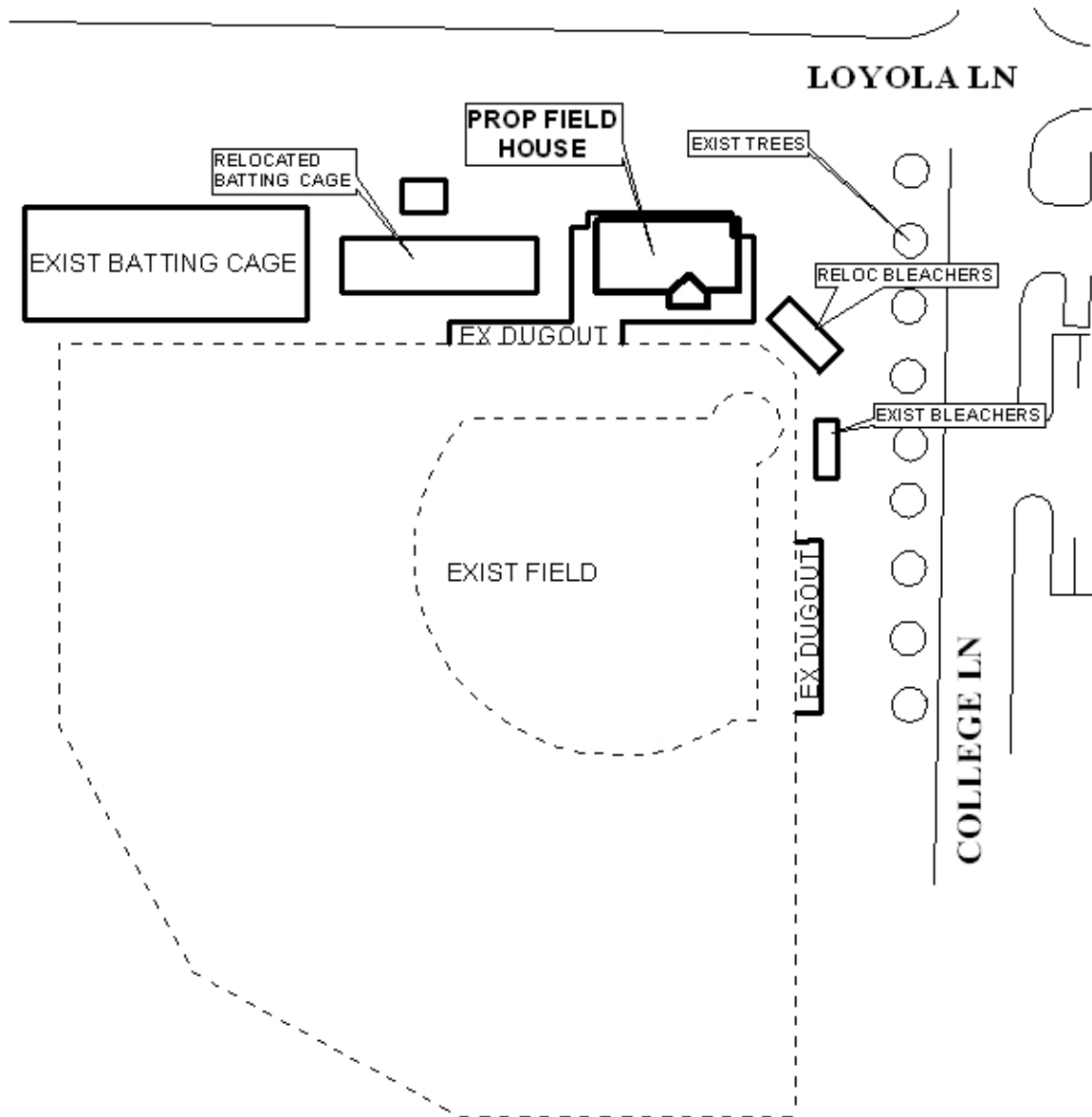


The site plan illustrates the existing buildings, drives, parking, and golf course along with the proposed building and parking additions.

APPLICATION NUMBER 22 & 23 DATE May 1, 2008
 APPLICANT Spring Hill College (Dr. Charmaine May, Agent)
 REQUEST Planned Unit Development, Planning Approval



DETAIL SITE PLAN



APPLICATION NUMBER 22 & 23 DATE May 1, 2008

APPLICANT Spring Hill College (Dr. Charmaine May, Agent)

REQUEST Planned Unit Development, Planning Approval



NTS