

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: May 15, 2008**

DEVELOPMENT NAME Baldwin Transfer Subdivision

SUBDIVISION NAME Baldwin Transfer Subdivision

LOCATION 1501 Telegraph Road
(Northwest corner of Telegraph Road and Callahan Drive)

**CITY COUNCIL
DISTRICT** District 2

AREA OF PROPERTY 1 lot / 5.6 ± acres

CONTEMPLATED USE Planned Unit Development Approval to allow two buildings on a single building site, and Subdivision approval to create one (1) lot.

**TIME SCHEDULE
FOR DEVELOPMENT** Immediate.

**ENGINEERING
COMMENTS** Must comply with all storm water and flood control ordinances. Cannot concentrate storm water runoff to an adjacent property without a release agreement or a private drainage easement. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans.

**URBAN FORESTRY
COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS** All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS The applicant is seeking Planned Unit Development Approval to allow two buildings on a single building site, and Subdivision approval to create one

(1) lot. The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create one lot from an existing parcel in order to allow for the construction of a second warehouse building on the site.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is primarily within the City of Mobile, but the northern 240 ± feet of the site is located within the City of Chickasaw. That portion of the site located within the City of Mobile is zoned I-2, Heavy Industry District, thus the heavy warehouse use is allowed by right. Furthermore, this district allows up to 75% site coverage and a 0 to 5-foot side and rear yard setbacks.

The site fronts onto two streets, Callahan Drive, a minor street with adequate right-of-way, and Telegraph Road, a proposed major street with a right-of-way of 60-feet. As a proposed major street, Telegraph Road should have a right-of-way of 100-feet, according to the Major Street Plan component of the Comprehensive Plan. Dedication of right-of-way for the major street would require approximately 20-feet of the site that is currently in use, thus it is recommended that dedication be waived in-lieu of a revision of the minimum building setback line to accommodate future dedication: thus along Telegraph Road, the minimum building setback line should be depicted 45-feet from the existing right-of-way. The PUD site plan and Subdivision plat should be revised to depict and label a 45-foot minimum building setback line along Telegraph Road, and a 25-foot setback along Callahan Drive.

The site has two (2) existing curb-cuts onto Telegraph Road and two (2) onto Callahan Drive. The site should be limited to the existing number of curb-cuts, with any modifications to the curb-cuts to be approved by Traffic Engineering and ALDOT, and conform to AASHTO standards. A revised PUD site plan may be required if curb-cut modifications exceed 5-feet of increased width or altered location.

The site plan depicts proposed frontage trees, as required in I-2 areas, and landscape areas and calculations. As provided on the site plan, the site is deficient in overall landscape area and in required front landscape area, however, the proposed addition will not exceed the 50% threshold that triggers full compliance with the landscape requirements of the Zoning Ordinance, although

the Planning Commission *could* require full compliance as part of the PUD review. It appears that the proposed frontage trees will meet the minimum numerical requirements of the Zoning Ordinance.

Regarding parking, warehouse uses are required to provide parking at a ratio of 1 space per 300 square feet of office use, and 1 space per 3 warehouse employees. The site plan indicates that 63 parking spaces are provided, but no overall employee numbers for the site are provided, nor is any information regarding the amount of office space provided. While the site likely provides adequate parking overall, the site plan should provide complete information for the overall site.

As the site is a warehouse facility, tractor-trailer movements to and from loading docks will occur. All loading docks should be depicted on the site plan, and basic loading dock maneuvering and tractor-trailer parking areas depicted.

No dumpster is depicted on the site plan, however, some dumpster facilities may exist (according to aerial photographs). All existing and proposed dumpsters should be depicted on the site plan.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

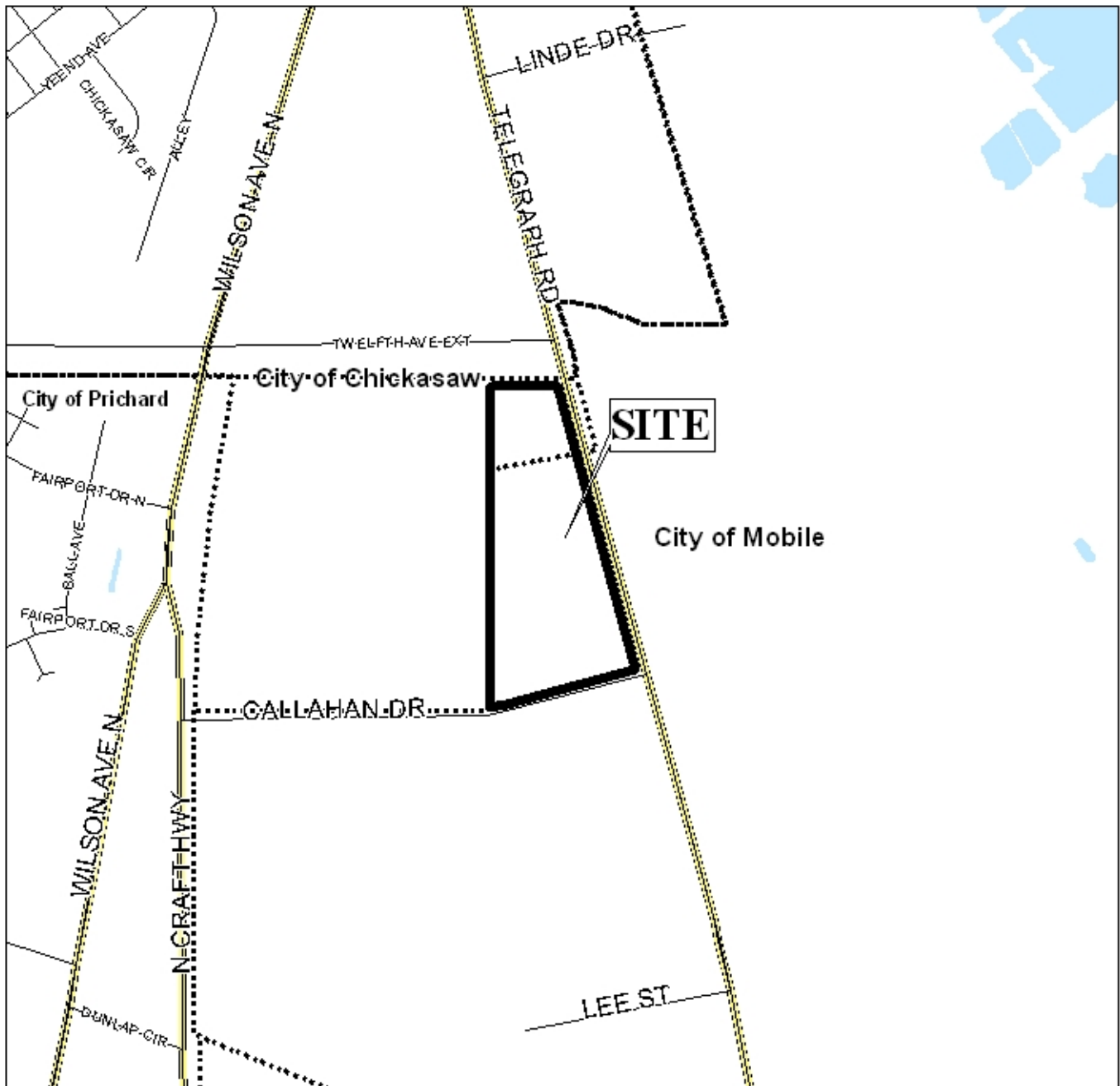
Subdivision: Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Compliance with Engineering comments (*Must comply with all storm water and flood control ordinances. Cannot concentrate storm water runoff to an adjacent property without a release agreement or a private drainage easement. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit*);
- 2) Revision of the plat to depict and label a 45-foot minimum building setback line from Telegraph Road, and a 25-foot setback line from Callahan Drive;
- 3) Placement of a note on the plat stating that the site is limited to the two existing curb-cuts onto Callahan Drive, and the two existing curb-cuts onto Telegraph Road, with any modifications to the curb-cuts in terms of size and location to be approved by Traffic Engineering and ALDOT, and to be in conformance with AASHTO standards;
- 4) Placement of a note on the plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 5) Provision of a revised PUD site plan prior to the signing of the final plat;
- 6) Completion of the Subdivision process prior to the obtaining of any permits, including land disturbance; and
- 7) Full compliance with all other municipal codes and ordinances.

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) Revision of the site plan to reflect the total parking requirements based upon office area within the existing building, and the total number of warehouse employees, and provision of additional parking spaces if necessary to meet the minimum parking requirements;
- 2) Revision of the site plan to depict and label a 45-foot minimum building setback line from Telegraph Road, and a 25-foot setback line from Callahan Drive;
- 3) Revision of the site plan to depict and label existing and proposed dumpsters;
- 4) Revision of the site plan to depict all loading docks, tractor-trailer parking areas, and general tractor-trailer circulation;
- 5) Deannexation from Chickasaw and annexation into Mobile must be complete prior to issuance of Certificate of Occupancy;
- 6) Placement of a note on the site plan stating that the site is limited to the two existing curb-cuts onto Callahan Drive, and the two existing curb-cuts onto Telegraph Road, with any modifications to the curb-cuts in terms of size and location (not exceeding increases or changes of location greater than 5 feet) to be approved by Traffic Engineering and ALDOT, and to be in conformance with AASHTO standards: changes greater than 5 feet may require a new PUD application;
- 7) Compliance with Engineering comments (*Must comply with all storm water and flood control ordinances. Cannot concentrate storm water runoff to an adjacent property without a release agreement or a private drainage easement. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit*);
- 8) Provision of a revised PUD site plan prior to the signing of the final plat; and
- 9) Full compliance with all other municipal codes and ordinances.

LOCATOR MAP

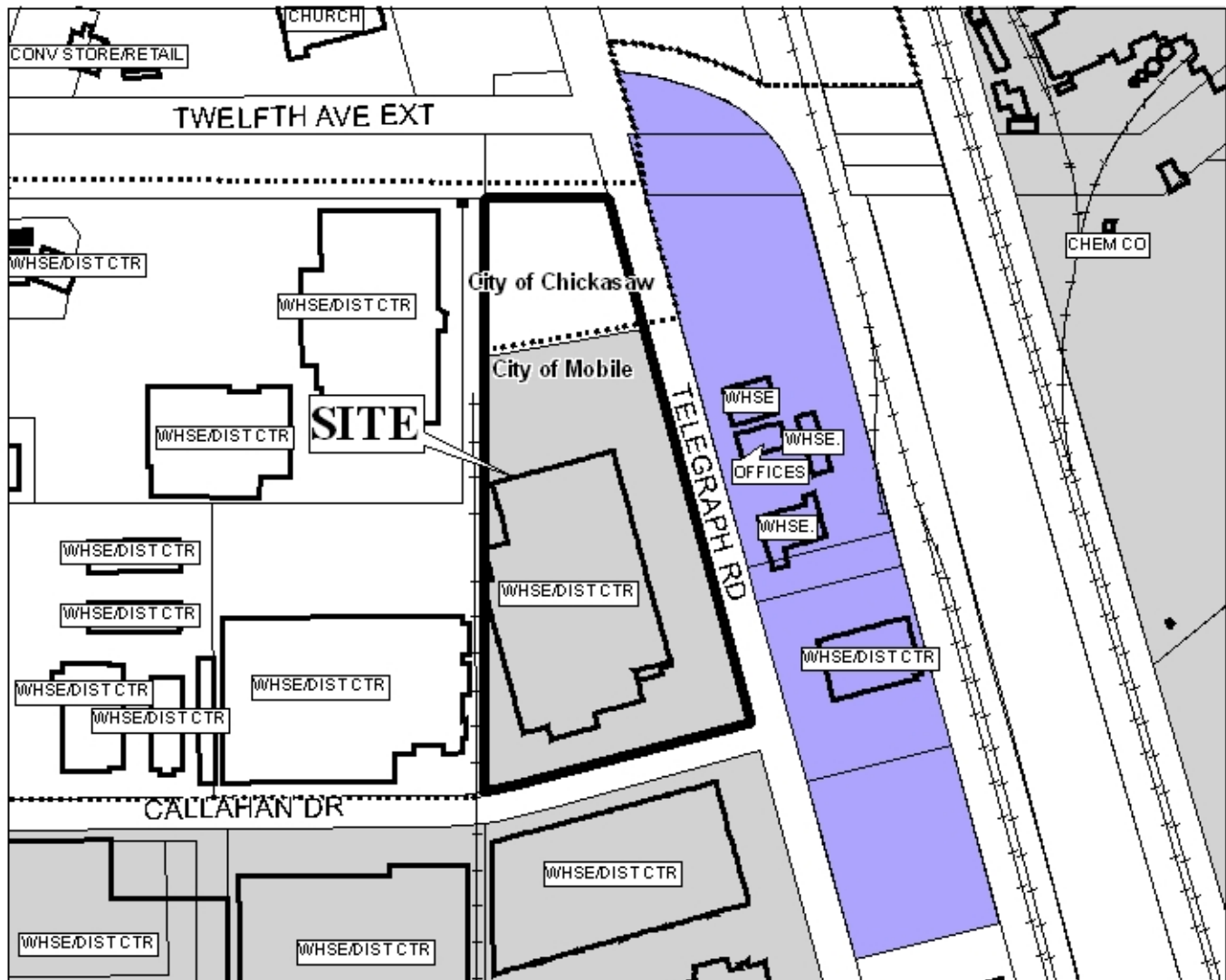


APPLICATION NUMBER 22 & 23 DATE May 15, 2008
APPLICANT Baldwin Transfer Subdivision
REQUEST Subdivision, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial land use

APPLICATION NUMBER 22 & 23 DATE May 15, 2008

APPLICANT Baldwin Transfer Subdivision

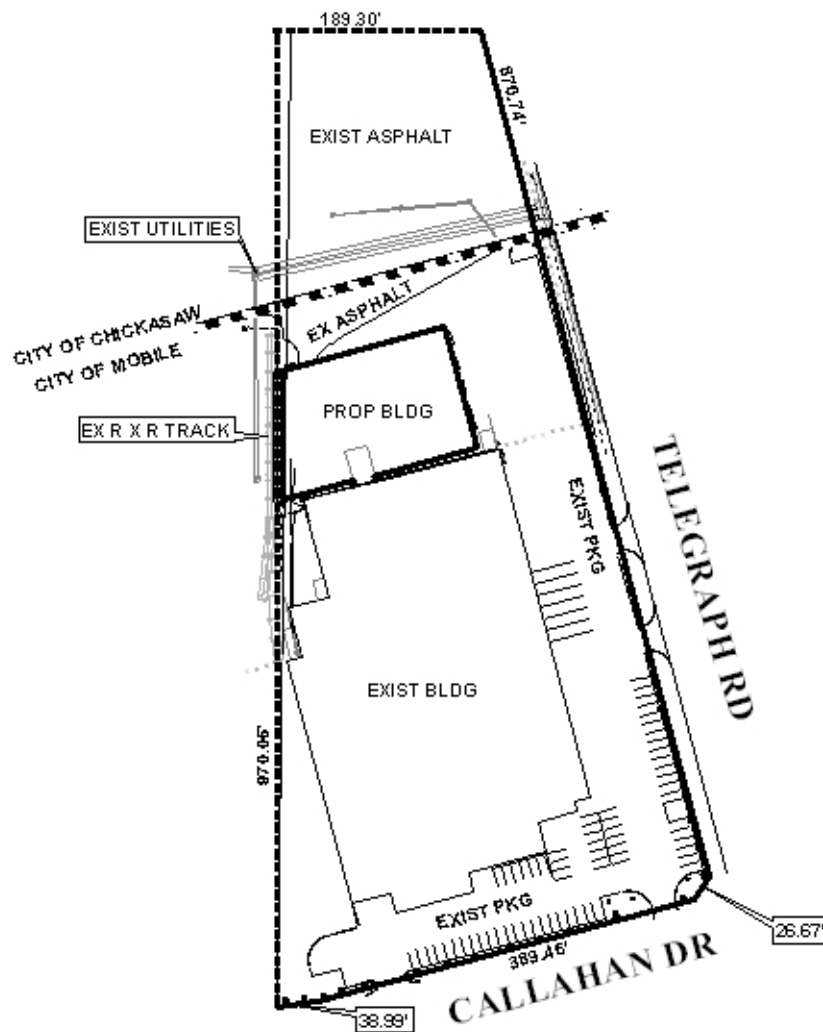
REQUEST Subdivision, Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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SITE PLAN



The site plan illustrates the existing infrastructure and proposed building addition

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