

**PLANNED UNIT DEVELOPMENT  
REZONING &  
SIDEWALK WAIVER REQUEST  
STAFF REPORT**

**Date: January 16, 2014**

**APPLICANT NAME**

Gulf Equipment Corporation

**LOCATION**

5540 Business Parkway  
(Northwest corner of Kooiman Road and Business  
Parkway)

**CITY COUNCIL  
DISTRICT**

District 4

**PRESENT ZONING**

B-5, Office-Distribution District

**PROPOSED ZONING**

I-1, Light Industry District

**AREA OF PROPERTY**

2 Lot / 7.1 ± Acre

**CONTEMPLATED USE**

Planned Unit Development approval to allow shared access between two building sites; Rezoning approval to rezone the site from B-5, Office-Distribution District, to I-1, Light Industry District to allow an industrial storage facility; and a Sidewalk Waiver to waive construction of a sidewalk along Kooiman Road.

**It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.**

**REASON FOR  
REZONING**

To allow a proposed industrial storage facility.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate.

**ENGINEERING  
COMMENTS**

**Planned Unit Development:**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will

- require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. Any and all Any and all proposed land disturbing activity will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

**Rezoning:** No comments.

**Sidewalk Waiver:** It appears that there is sufficient room within the ROW, or within the property, for the construction of a sidewalk that could be approved through the ROW Permit process.

## **TRAFFIC ENGINEERING**

### **COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

## **REMARKS**

The applicant is requesting Planned Unit Development approval to allow shared access between two building sites; Rezoning approval to rezone the site from B-5, Office-Distribution District, to I-1, Light Industry District to allow an industrial storage facility; and a Sidewalk Waiver to waive construction of a sidewalk along Kooiman Road. Each building site is a legal lot of record.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is **site plan specific**, thus any changes to the site plan will require approval by the Planning Commission.

As this site was recently annexed in 2008, it is shown as Residential on the General Land Use Component of the Comprehensive Plan, which is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Moreover, the General Land Use Component allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and zoning classification.

As stated in Section 64-9. of the Zoning Ordinance, the intent of the Ordinance and corresponding Zoning Map is to carry out the comprehensive planning objective of sound, stable and desirable development. While changes to the Ordinance are anticipated as the city grows, the established public policy is to amend the ordinance only when one or more of the following conditions prevail: 1) there is a manifest error in the Ordinance; 2) changing conditions in a particular area make a change in the Ordinance necessary and desirable; 3) there is a need to increase the number of sites available to business or industry; or 4) the subdivision of land into building sites makes reclassification of the land necessary and desirable.

The applicant states (that) "There is an increased need for industrial storage sites in addition to the sites available making it necessary to rezone this area. There is no adverse impact on neighboring properties as this parcel is surrounded by predominately Industrial use."

Staff substantiates the applicant's claim as the site is bounded on the Western and Northern sides by B-5, Office-Distribution and the Eastern boundary fronts Business Parkway, and on the opposite side of the street is property also zoned B-5, Office-Distribution. The Southern boundary of this site fronts Kooiman Road and it should be pointed out that property on the Southern side of Kooiman Road, directly adjacent to this site, is zoned R-1, Single-Family Residential. The nearest property zoned I-1, Light Industry Zoning District is located 1,050' ± Northeast of this site.

It should be noted that there appears to be a discrepancy on the site plan in reference to the number of parking spaces. The site plan only illustrates the existing and proposed buildings along with the square footage of each, but does not, however, illustrate a location or size of an office nor provide the number of warehouse employees as the Zoning Ordinance requires 1 space for every 3 warehouse employees. Currently, the site contains an existing 12,368 square foot building with 62 parking spaces, as counted by staff, and is required 42 spaces, as stated on the site plan. The applicant is proposing the construction of an additional 12,000 square foot building which is required 40 parking spaces, as stated on the site plan; however, the applicant only provides 14 additional parking spaces. As parking will be shared between the two buildings, the applicant states that a total of 82 parking spaces are required. A note on the site plan states that there are 68 existing parking spaces and with the additional 14 proposed parking spaces, the site will have a total of 82 spaces, as required. Since staff has counted only 62 parking spaces on the site plan, the 14 proposed parking spaces would only provide 76 on-site parking spaces, 6 short of the required 82.

It should be pointed out, that it appears the applicant has calculated parking on the site using the General Business parking ratio which is 1 space per 300 square feet for the entire area of each

structure, instead of using the Office-distribution mixed use establishment parking ratio where the location and size of an office would be provided and parking calculated at 1 space for every 300 square feet and the remaining area would calculate parking at 1 space for every 3 warehouse employees. Using the Office-distribution parking ratio would possibly generate a lower parking requirement for each structure and the entire site, and, as such, it is recommended that the site plan be revised to comply with the Office-distribution parking ratio; however, if the applicant desires to continue the 1 to 300 parking ratio, the site plan should be revised to depict a total of 82 parking spaces.

It should be pointed out that the site plan illustrates a metal cover that covers two existing parking spaces along the Northern lot line near the existing building. The exact size of the structure and support columns is not identified, and, as such, may reduce the provided parking on the site.

A note on the site plan references the total landscaping area required and the existing landscaping area, but does not reference the frontage tree requirement as required by the Zoning Ordinance. As a result, the site plan should be revised to comply with the frontage tree requirement of the Zoning Ordinance.

It should be pointed out that a detailed container plan was provided by the applicant and the site plan depicts a dumpster pad as well; however, the applicant does not illustrate the dumpster pad connected to sanitary sewer. The site plan should be revised to comply with Section 64-4.D.9. of the Zoning Ordinance.

Also, it should be noted that any new lighting on the site will have to comply with the requirements of Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance. A note reflecting this requirement should appear on the site plan, if approved.

The applicant is also requesting a Sidewalk Waiver to waive the construction of a sidewalk along Kooiman Road. It should be pointed out that this site contains an existing sidewalk along Business Parkway and Kooiman Road. Furthermore, there appears to be adequate room for the continuation of the sidewalk along Kooiman Road, and, as such, the Sidewalk Waiver request should be denied.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

### **RECOMMENDATION**

**Planned Unit Development:** Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) Revision of the site plan to illustrate 82 parking spaces or the compliant number of parking spaces to include the location and size of each office and the number of warehouse employees;

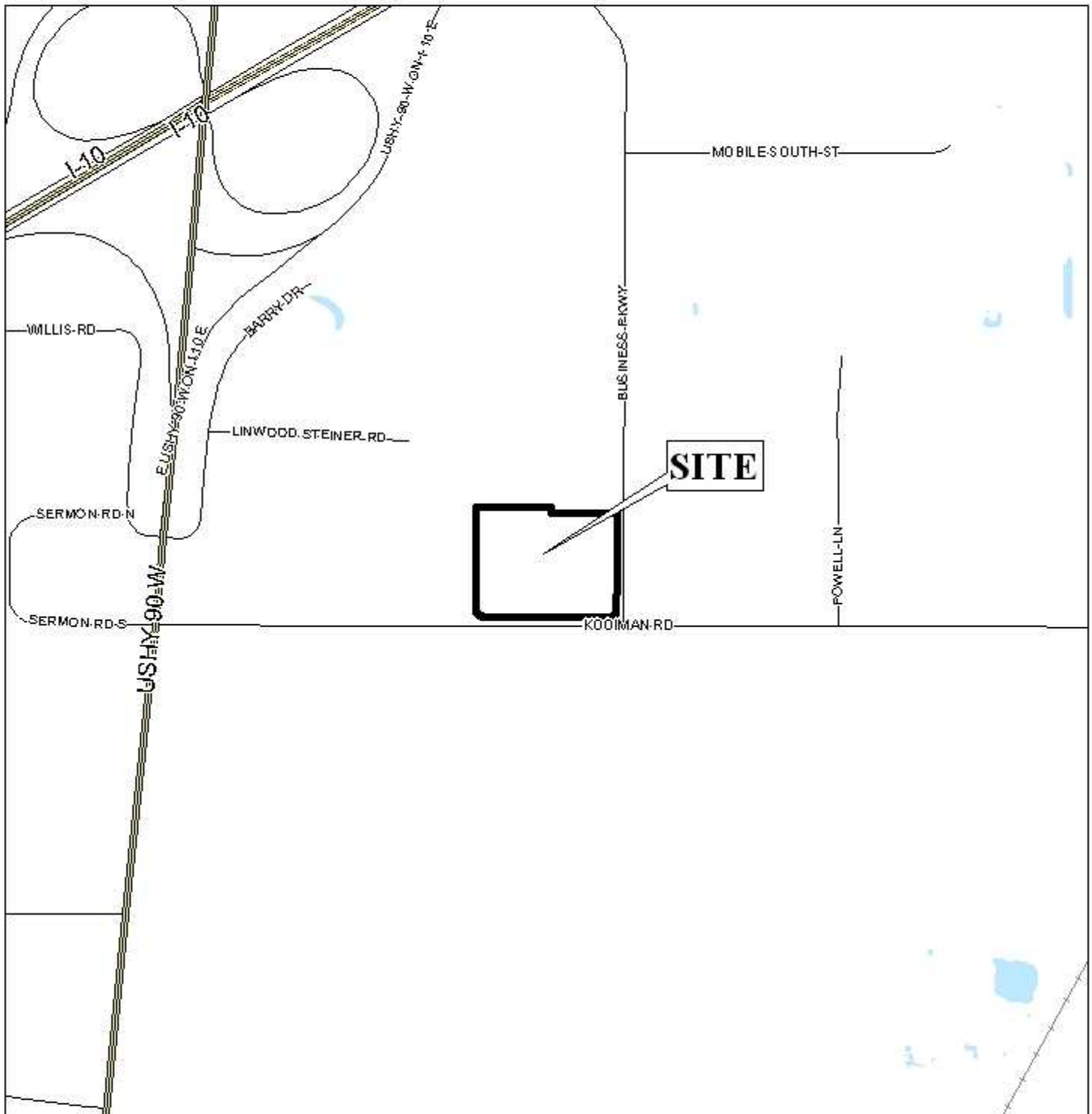
- 2) Revision of the site plan to illustrate and quantify full compliance with the tree and landscaping requirements of the Zoning Ordinance;
- 3) Revision of the site plan depicting the dumpster connected to sanitary sewer as required by Section 64-4.D.9 of the Zoning Ordinance;
- 4) Placement of a note on the site plan stating that: *(Any new lighting on the site to comply with the requirements of Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance.);*
- 5) Placement of a note on the site plan stating: *(Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.);*
- 6) Placement of a note on the site plan stating: *(PUD approval is **site plan specific** and any substantial changes to the site plan will require approval by the Planning Commission);*
- 7) Compliance with Engineering Comments: *(1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. Any and all Any and all proposed land disturbing activity will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.);*
- 8) Compliance with Traffic Engineering Comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 9) Compliance with Urban Forestry Comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 10) Compliance with Fire Department Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 11) Completion of the Rezoning process prior to the issuance of any Land Disturbance or Building permits;
- 12) Submission of a revised PUD site plan prior to any request for Land Disturbance or Building permits; and
- 13) Full compliance with all other municipal codes and ordinances.

**Rezoning** Based on the preceding, the Rezoning request to I-1, Light Industry District is recommended for approval, subject to the following conditions:

- 1) Limited to an approved Planned Unit Development;
- 2) Full compliance with the tree and landscaping requirements of the Zoning Ordinance; and
- 3) Full compliance with all other municipal codes and ordinances.

**Sidewalk Waiver:** Based upon the preceding, the request to waive construction of a sidewalk along Kooiman Road is recommended for denial.

# LOCATOR MAP



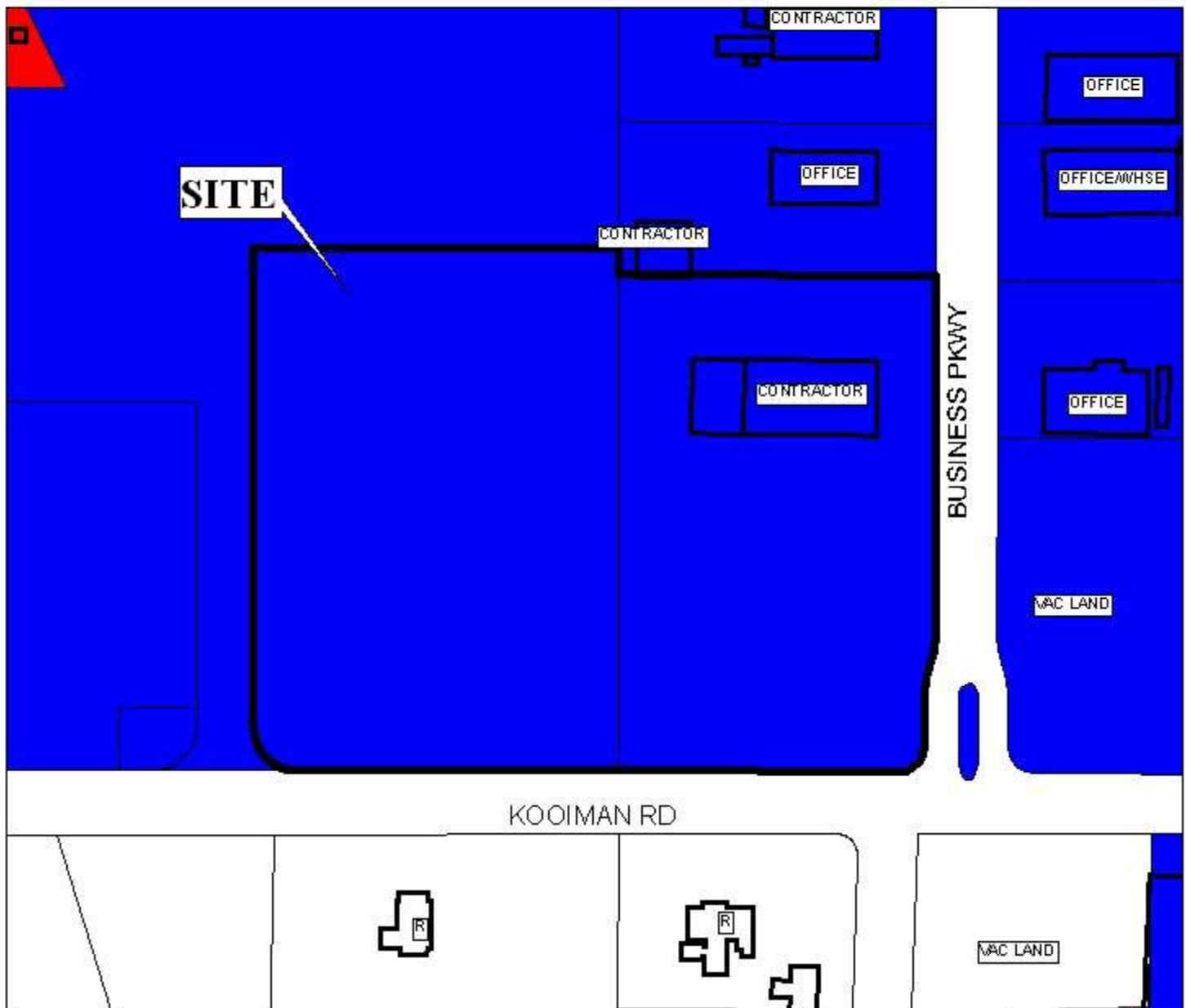
APPLICATION NUMBER 22, 23 & 24 DATE January 16, 2014

APPLICANT Gulf Equipment Corporation

REQUEST PUD, Sidewalk Waiver, Rezoning from B-5 to I-1



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Businesses are located to the north and east of the site.  
Single family residences are located to the south of the site.

APPLICATION NUMBER 22, 23 & 24 DATE January 16, 2014

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REQUEST PUD, Sidewalk Waiver, Rezoning from B-5 to I-1

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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N  
NTS



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



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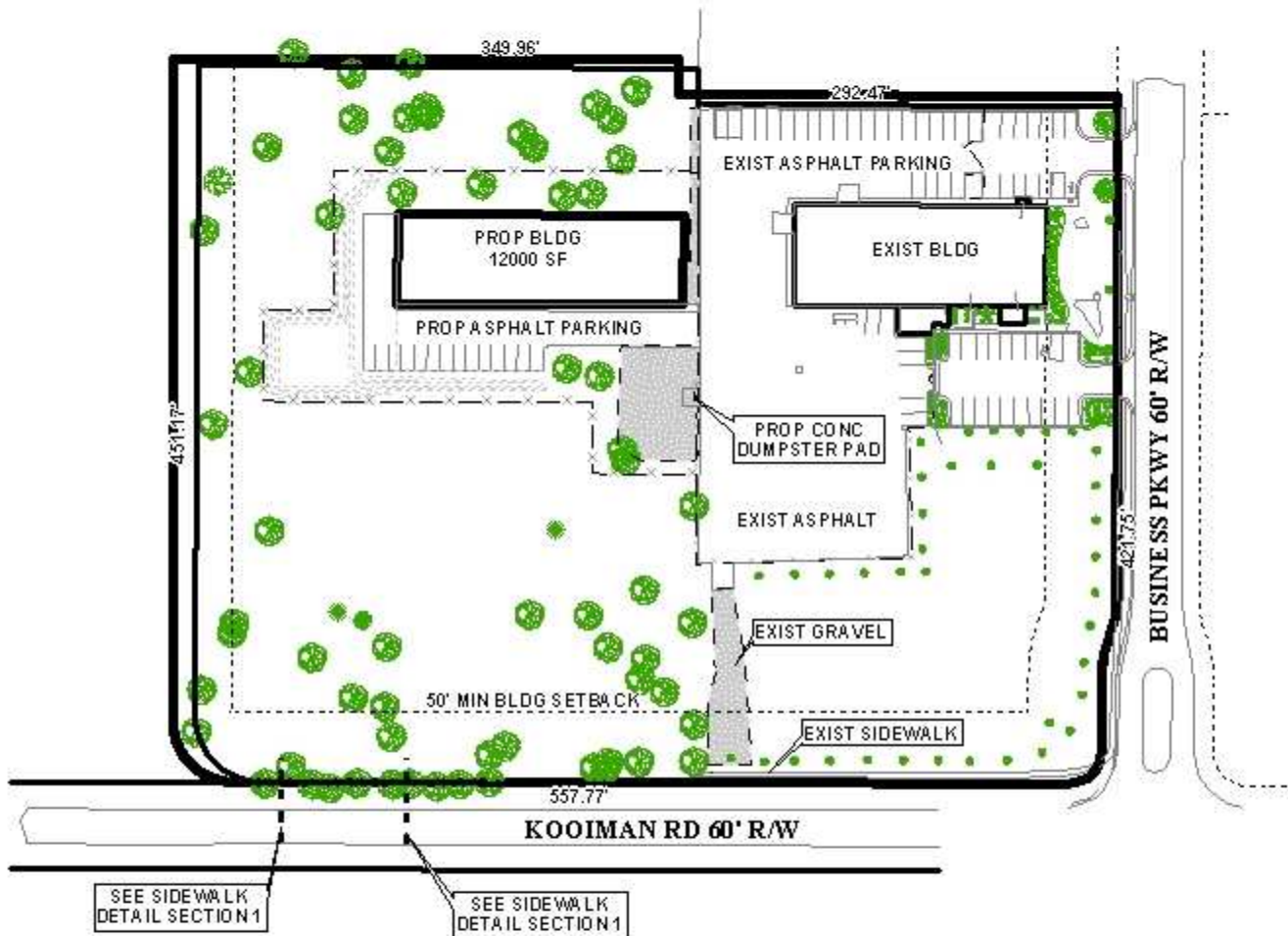
APPLICANT Gulf Equipment Corporation

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# SITE PLAN



The site plan illustrates the existing improvements, proposed building, and proposed parking area.

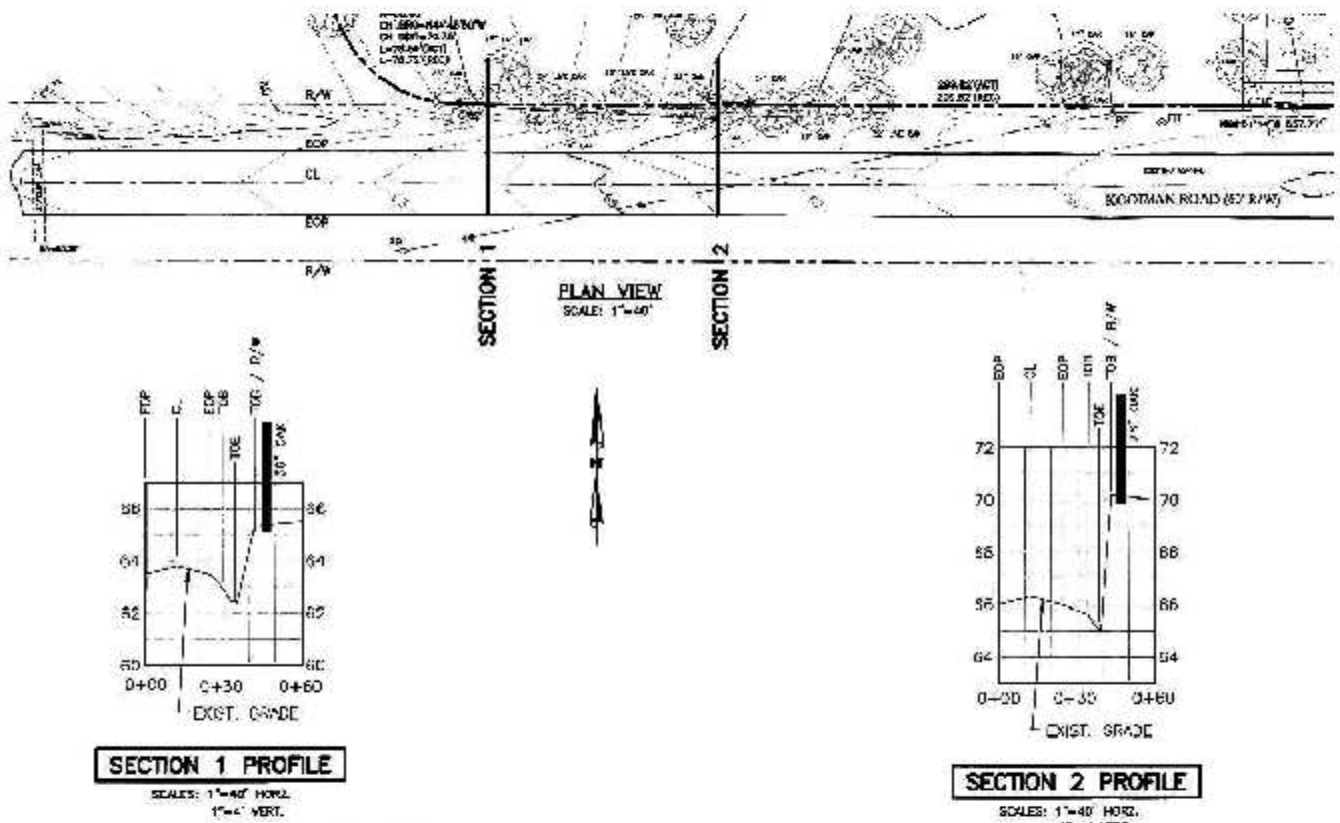
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# SIDEWALK CROSS SECTION DETAIL



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REQUEST PUD, Sidewalk Waiver, Rezoning from B-5 to I-1

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