

**SUBDIVISION, PLANNING APPROVAL  
PLANNED UNIT DEVELOPMENT  
& SIDEWALK WAIVER STAFF REPORT**

**Date: December 4, 2008**

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| <b><u>DEVELOPMENT NAME</u></b>              | 1551 Cochrane Causeway  |
| <b><u>SUBDIVISION NAME</u></b>              | Chippewa Lakes Blakely Island Subdivision   |
| <b><u>LOCATION</u></b>                      | West side of Cochrane Causeway, 500'± South of the South terminus of the Cochrane-Africatown Bridge   |
| <b><u>CITY COUNCIL DISTRICT</u></b>         | Council District 2  |
| <b><u>AREA OF PROPERTY</u></b>              | 1-Lot/9.5± acres  |
| <b><u>CONTEMPLATED USE</u></b>              | Subdivision approval to create 1 lot, Planned Unit Development approval to allow multiple buildings, storage tanks and material handling facilities on a single building site, Planning Approval to allow a limestone crushing facility in an I-2, Heavy Industry District and sidewalk waiver request to waive the construction of a sidewalk along Cochrane Causeway. |
| <b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b> | Immediate.  |
| <b><u>ENGINEERING COMMENTS</u></b>          | Based on the flood study that was conducted, a LOMR will be required following construction of the site. Recommend approval of sidewalk waiver due to conflicts with drainage.  |
| <b><u>TRAFFIC ENGINEERING COMMENTS</u></b>  | Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.  |
| <b><u>URBAN FORESTRY COMMENTS</u></b>       | Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).  |

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

### **REMARKS**

The applicant is requesting Subdivision approval to create 1 lot, Planned Unit Development approval to allow multiple buildings, storage tanks and material handling facilities on a single building site, Planning Approval to allow a limestone crushing facility in an I-2, Heavy Industry District and sidewalk waiver request to waive the construction of a sidewalk along Cochrane Causeway.

The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer.

The purpose of these applications is to allow construction of a new 9,015 square-feet, limestone grinding facility, with approximately 336 square-feet of office space, on the West side of Cochrane Causeway.

The site has frontage onto Cochrane Causeway, a major street as illustrated on the Major Street Component of the Comprehensive Plan and requires a minimum right-of-way of 100-feet. Cochrane Causeway along the site exceeds the minimum right-of-way requirements of the Major Street Component of the Comprehensive Plan.

Access management is a concern due to the site fronting on a major street; therefore, the development should be limited to one curb cut to Cochrane Causeway, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards.

With regard to the Subdivision request, as stated above, the purpose of the application is to create a legal lot of record from a metes and bounds parcel.

It should be noted that the legal description and preliminary plat submitted does not match the legal description in Mobile County Probate records. Therefore, the correction in either legal description should be corrected prior to the signing of the Final Plat.

The preliminary plat illustrates a 30-foot AT & N Railroad right-of-way and a 25-foot minimum building setback is illustrated as well. As illustrated on the preliminary plat the 25-foot minimum building setback cannot be within the 30-foot AT & N railroad right-of-way; therefore, either the vacation of this right-of-way or the placement of the 25-foot minimum building setback to start at the end of the 30-foot AT & N railroad right-of-way.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district. Planning Approval is site plan and use specific, thus any future changes to the site or operation of the facilities will require additional Planning Approval.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. Planned Unit Development Approval is site plan and use specific, thus any future changes to the site or operation of the facilities will require additional Planned Unit Development Approval.

As the reviews for Planning Approval and Planned Unit Development (PUD) Approval are similar, these reviews will be combined for the purpose of this report.

As indicated on the site plan, access to this facility is to be via a new drive to Cochrane Causeway, a major street with existing right-of-way of 120' at this location. As Cochrane Causeway is a major street, access management is a concern. Access management is a concern due to the site fronting on a major street; therefore, the development should be limited to one curb cut to Cochrane Causeway, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards.

The site is currently undeveloped; however, the site is proposed as a Regional Limestone Grinding Facility. The facility will receive and grind limestone to provide to the local market a material to assist in the process of removing Sulfur Dioxide, Mercury, and various other acid gases emitted from coal fires plants. In order to efficiently remove these pollutants the process requires large volumes of high quality limestone that must be ground to a very fine powder.

The facility will initially receive 150,000-250,000 tons per year of high quality crushed limestone; however, this amount is anticipated to increase to as much as 500,000 tons per year over time.

Initially the primary source of limestone will be from the Prairie du Rocher mine located on the Mississippi River in southern Illinois. The stone will be barged to the proposed Regional Grinding Facility where it will be unloaded and stockpiled at the site for grinding preparation, with the capability to deliver limestone by truck if needed. However, the capacity to receive limestone by ocean-going vessels could become a viable alternative.

Other points that should be addressed by the applicant are the environmental issues or concerns relating to the limestone grinding building, silos and the location of any detention facility, if required. Additionally, signage on Cochrane Causeway indicating trucks (or vehicles) entering the street may be appropriate to notify motorists of that potential.

Given the water features on the site as well as the naturalized wooded on the site may contain Federally-listed threatened or endangered species as well as protected non-game species.

Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

It should be noted that the site must comply with landscaping and tree requirements of the Zoning Ordinance; therefore, since the site is zoned I-2, only frontage trees are required.

With regard to the Sidewalk Waiver Request, the applicant contends that the sidewalk should be waived because there are no existing sidewalks present along Cochrane Causeway and no room between the edge of pavement and the ditch to construct a sidewalk to city standards.

The applicant is correct in that there are no existing sidewalks in this area. However, the Commission has rarely allowed the absence of sidewalks in an area as justification for the granting of a sidewalk waiver. The provision of a sidewalk in that area would seem more desirable than pedestrians walking along this section of Cochrane Causeway with no sidewalk or defined or delineated walking path.

**RECOMMENDATION**      **Planned Unit Development:** Based upon the preceding, the PUD request is recommended for Approval, subject to the following conditions:

- 1) completion of the Subdivision process;
- 2) full compliance with all other municipal codes and ordinances.

**Planning Approval:** Based upon the preceding, the Planning Approval request is recommended for Approval, subject to the following conditions:

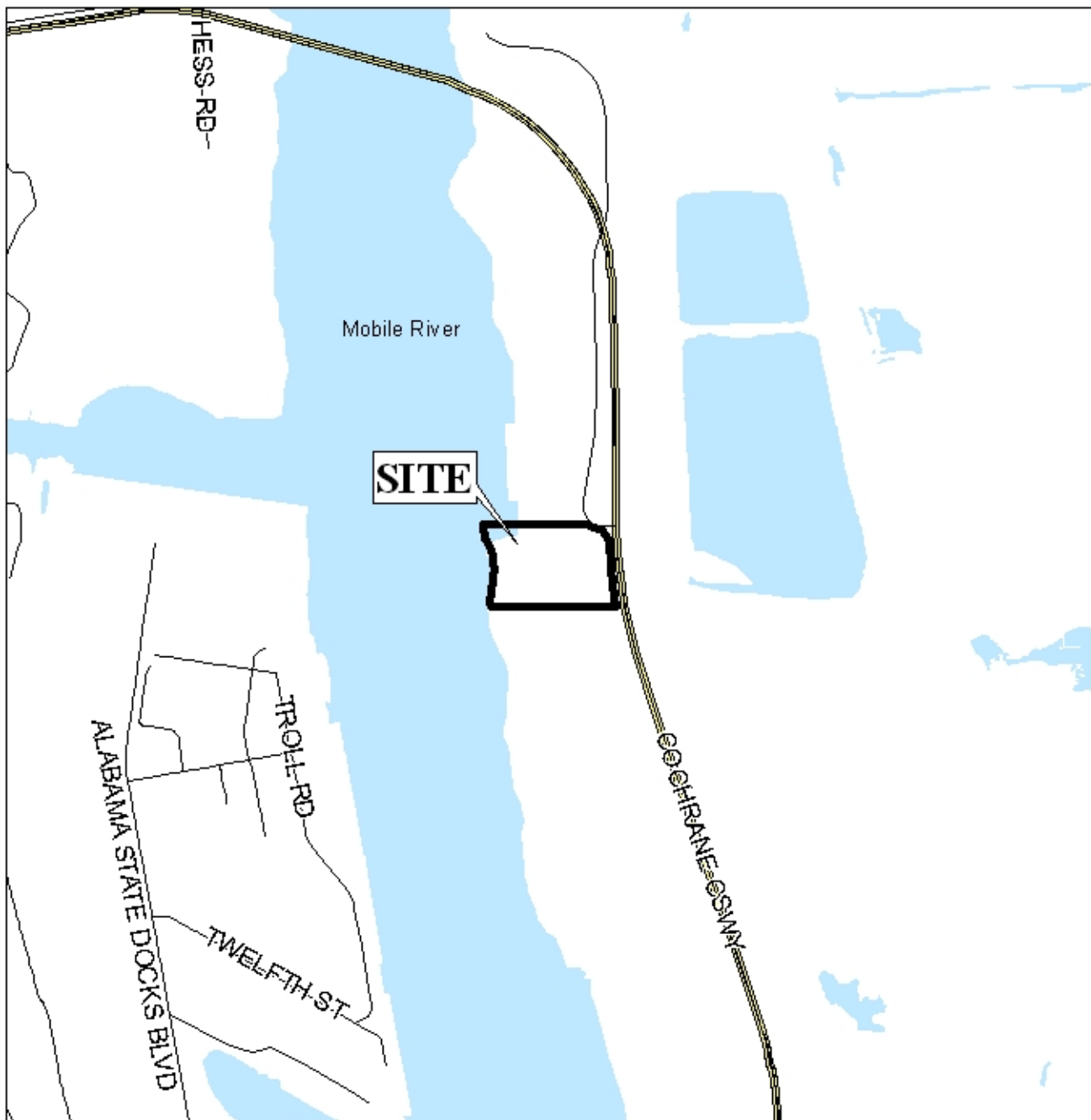
- 1) completion of the Subdivision process;
- 2) full compliance with all other municipal codes and ordinances.

**Subdivision:** Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that the development is limited to the one curb cut along Cochrane Causeway, with the size, design and location to be approved by Traffic Engineering and conform with AASHTO standards;
- 2) the vacation of the AT & N Railroad right-of-way prior to the signing of the Final Plat, or the illustration of the 25-foot minimum building setback to be relocated behind the 30-foot railroad right-of-way;
- 3) the labeling of the lot with its size in square feet, or placement of a table on the plat with the same information;
- 4) placement of a note on the Final Plat stating that the maintenance of the detention common area is the responsibility of the property owners; and
- 5) full compliance with all other municipal codes and ordinances.

**Sidewalk Waiver:** Based upon the preceding, this application for waiver of the sidewalk along Cochrane Causeway should be approved.

## LOCATOR MAP



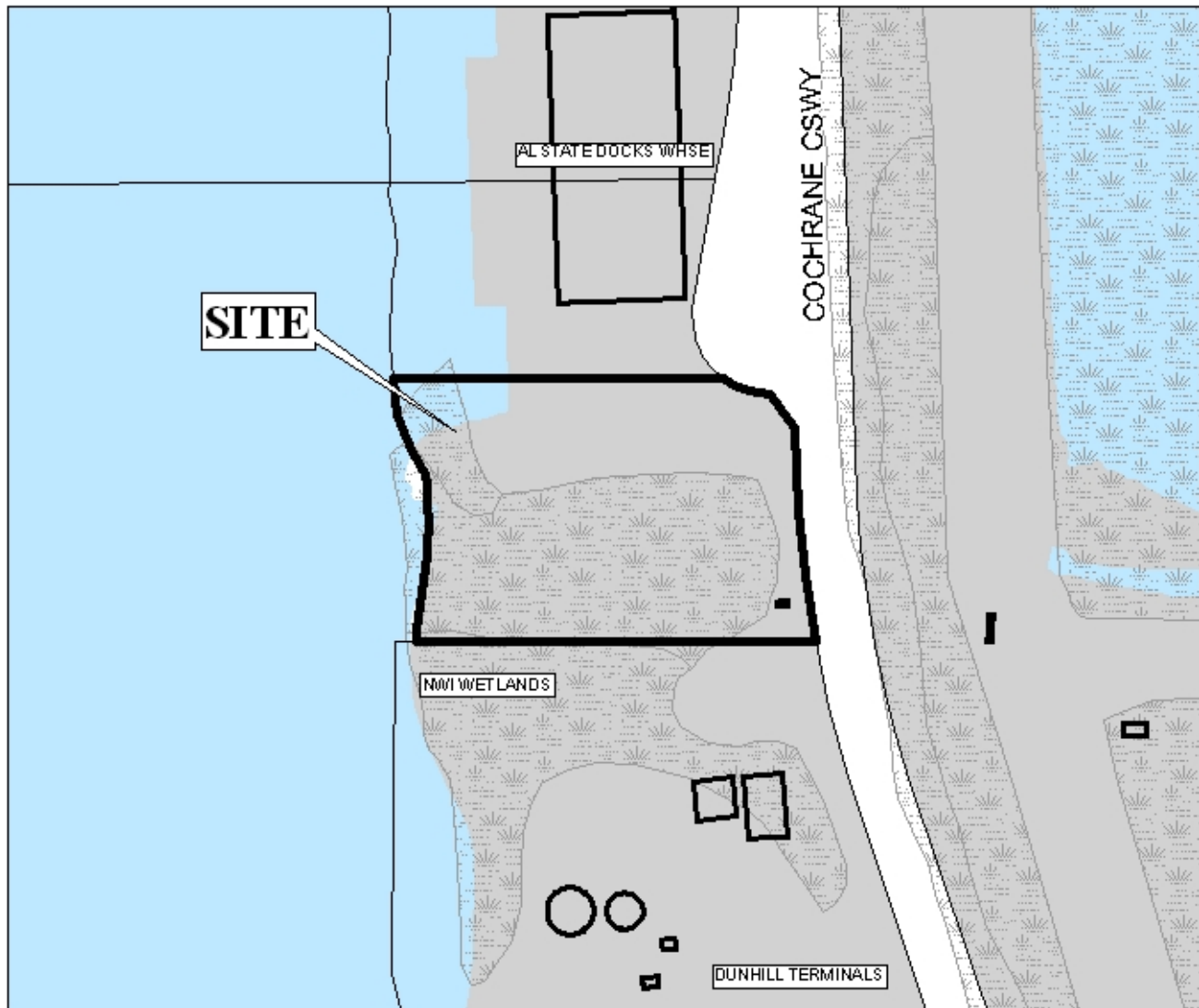
APPLICATION NUMBER 22-25 DATE December 4, 2008

APPLICANT Chippewa Lakes Blakeley Island Subdivision

REQUEST Subdivision, Sidewalk Waiver, PUD, Planning Approval



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial land use

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LEGEND



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NTS



## PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

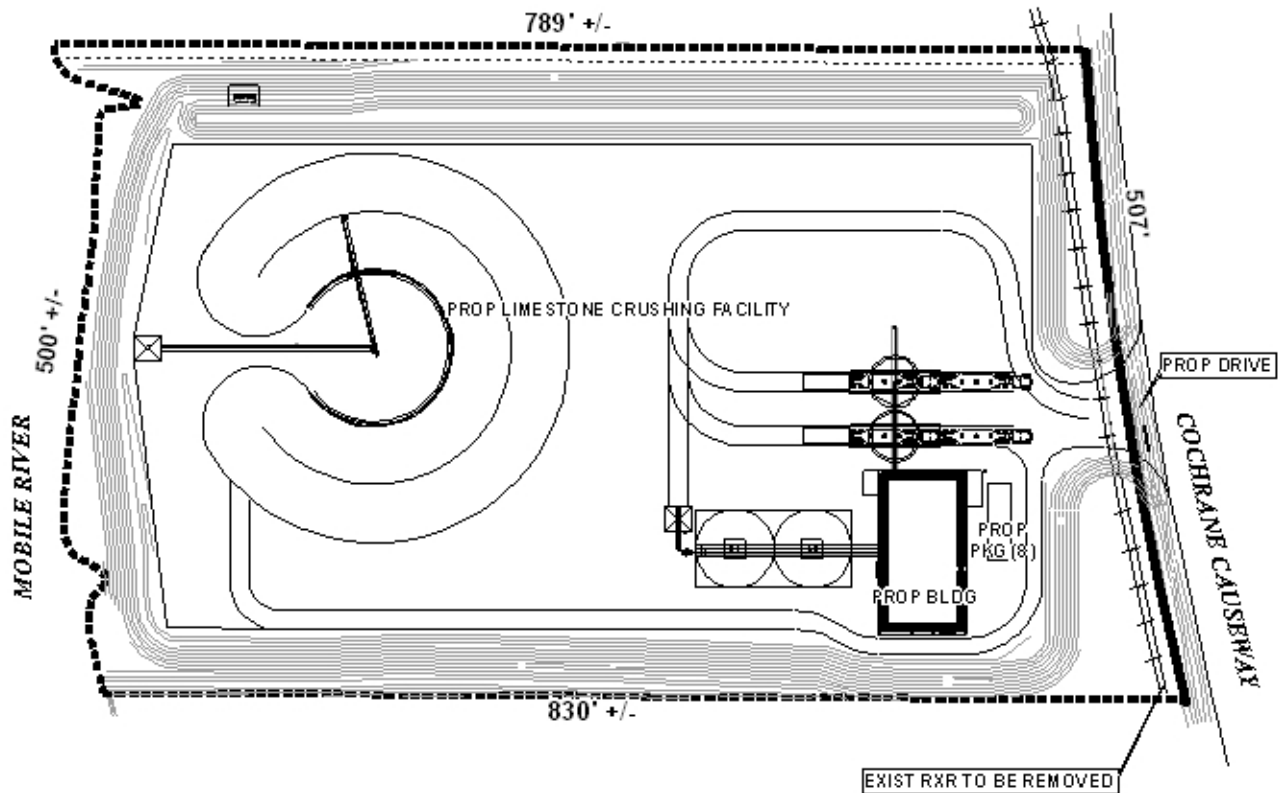


The site is surrounded by industrial land use

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## SITE PLAN



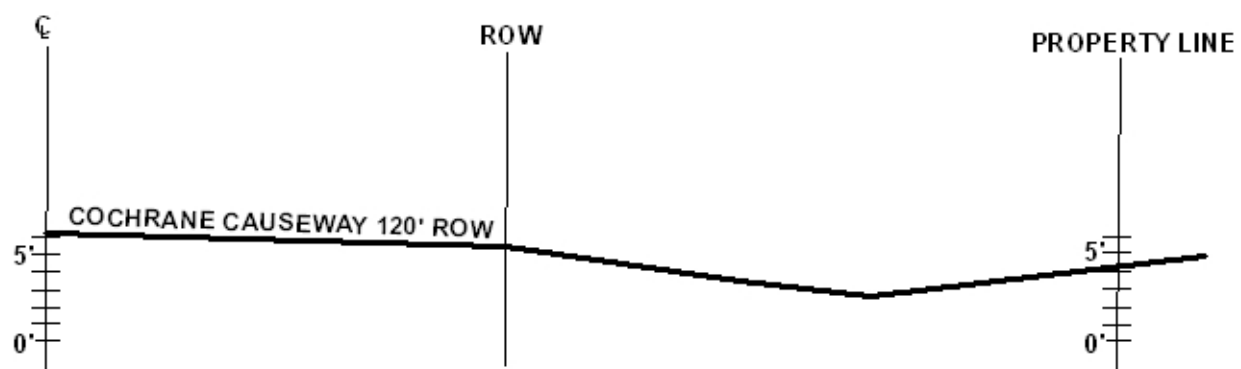
The site plan illustrates the proposed limestone crushing facility

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## SIDEWALK CROSS SECTION DETAIL



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