

WOODSIDE SUBDIVISION, UNIT EIGHT

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the 44-lot, 13.3± acre subdivision located at the West terminus of Woodside Drive North, adjacent to the West side of Woodside Subdivision, Unit Seven. The site is served by public water and sanitary sewer.

The purpose of the application is to create a 44-lot subdivision from two metes and bounds parcels.

The site extends west from Woodside Drive North, which has a 50' right-of-way. The application involves the creation of new streets, which should be constructed and dedicated. The site abuts a large, undeveloped, landlocked parcel to the East, which is currently used as a borrow pit and is owned by another party; while there is an access easement to the parcel, a street stub to the East should nevertheless be provided, in accordance with Section V.B.1 of the Subdivision Regulations.

This unit connects to the existing units of Woodside and no additional access is proposed. The letter of decision for Units Six and Seven stated: "future unit(s) will require additional access point(s)." The engineer has met with planning staff and agreed to provide a connection to Barnes Road in the next subdivision unit (Unit Nine).

The required 25' minimum building setbacks are shown for most lots, but are not shown for corner lots; these lots should be illustrated with 25' setbacks, as required by the Subdivision Regulations.

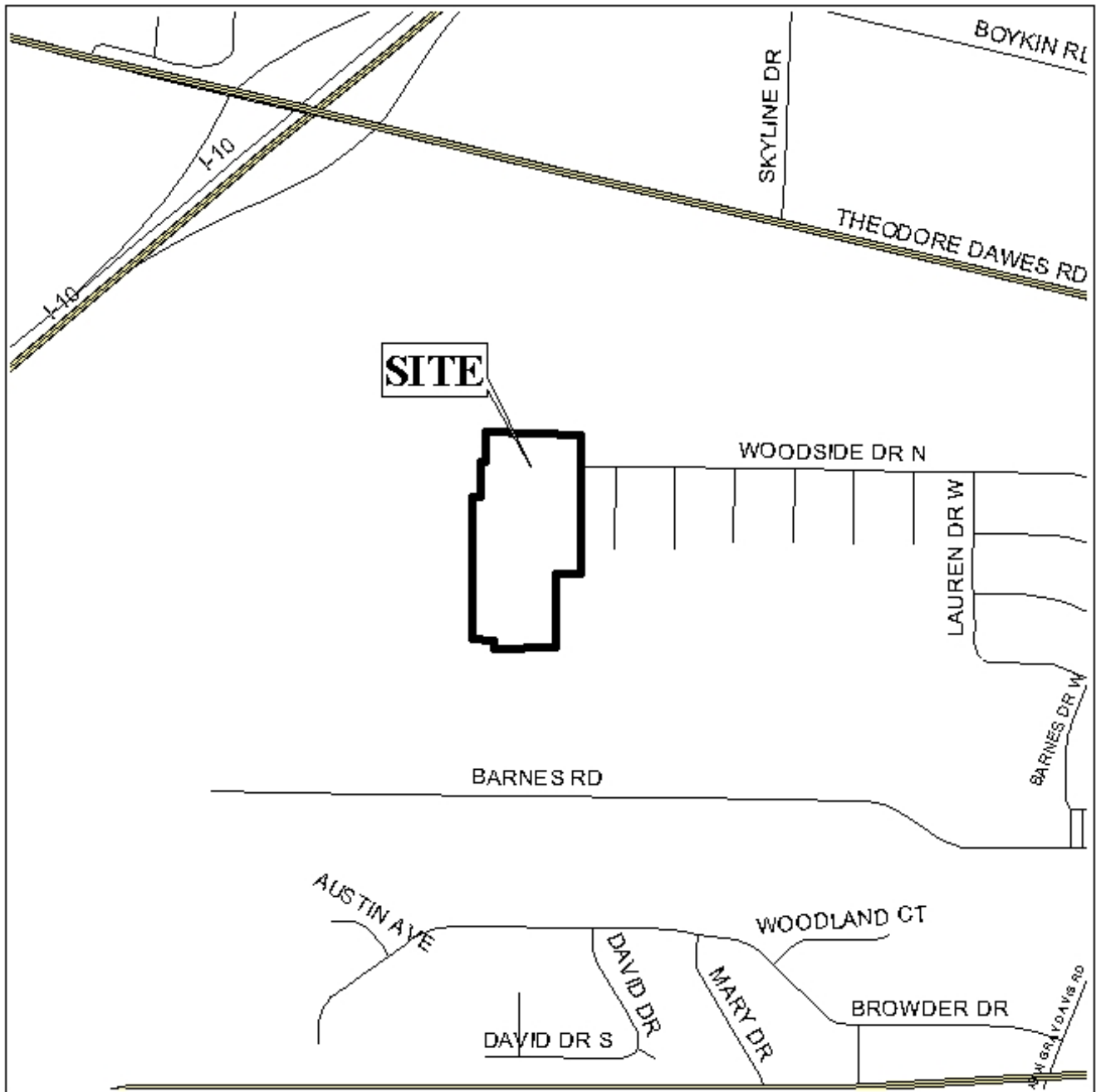
Common areas are shown on the plat; thus a note should be required on the final plat stating that maintenance of the common areas shall be the responsibility of the property owners.

Detention is not shown on the plat; any detention areas should be labeled as such, and a note should be required on the final plat stating that maintenance of detention facilities shall be the responsibility of the property owners.

The site is located in the County; thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions: 1) the construction and dedication of the new streets; 2) the provision of a street stub to the undeveloped parcel to the East; 3) the illustration of the 25' minimum building setbacks; 4) the placement of a note on the final plat stating that maintenance of common areas shall be the responsibility of the property owners; 5) the labeling of any detention areas and the placement of a note on the final plat stating that the maintenance of detention facilities shall be the responsibility of the property owners; and 6) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

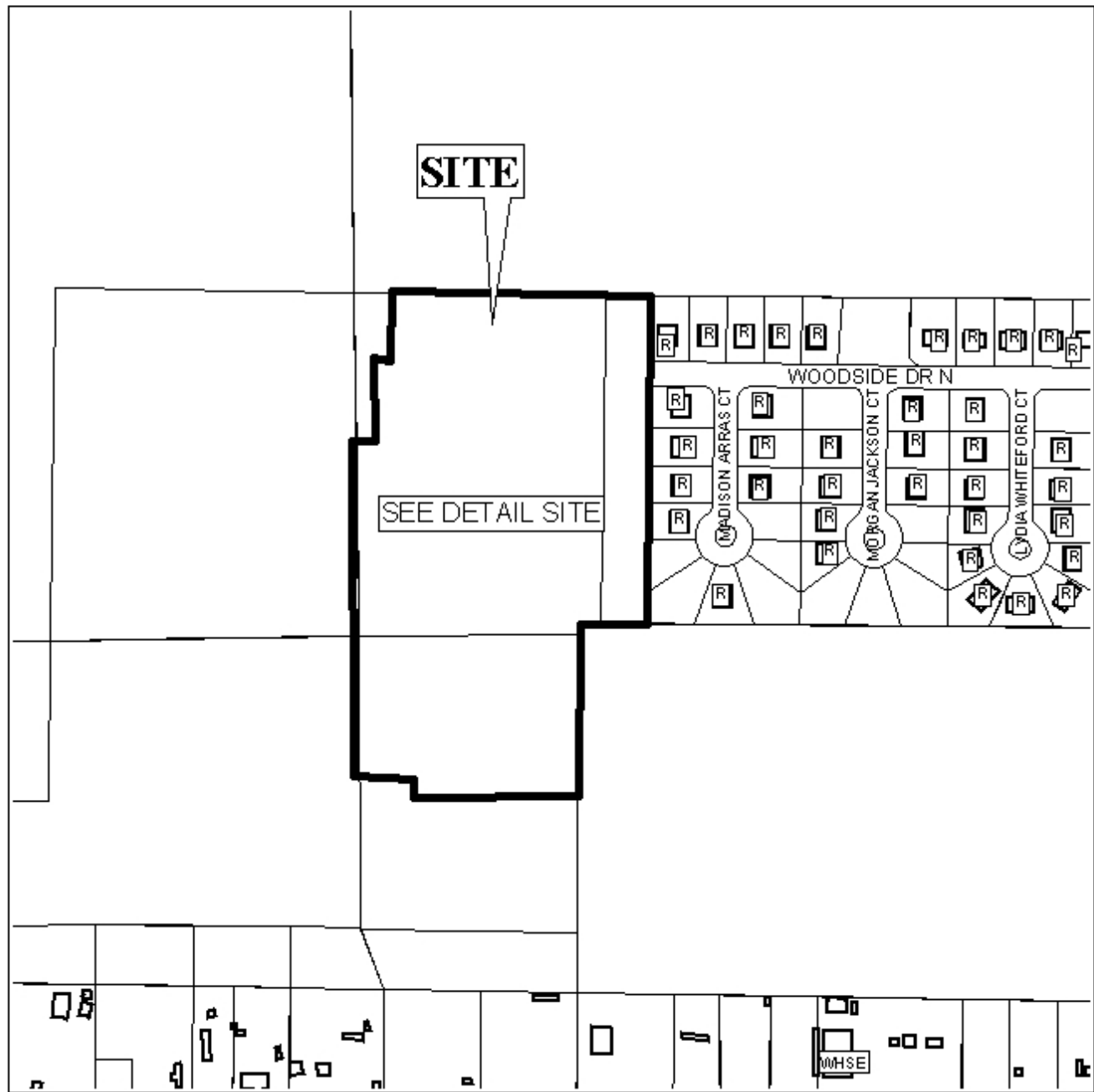
LOCATOR MAP



APPLICATION NUMBER 21 DATE June 16, 2005
APPLICANT Woodside Subdivision, Unit Eight
REQUEST Subdivision



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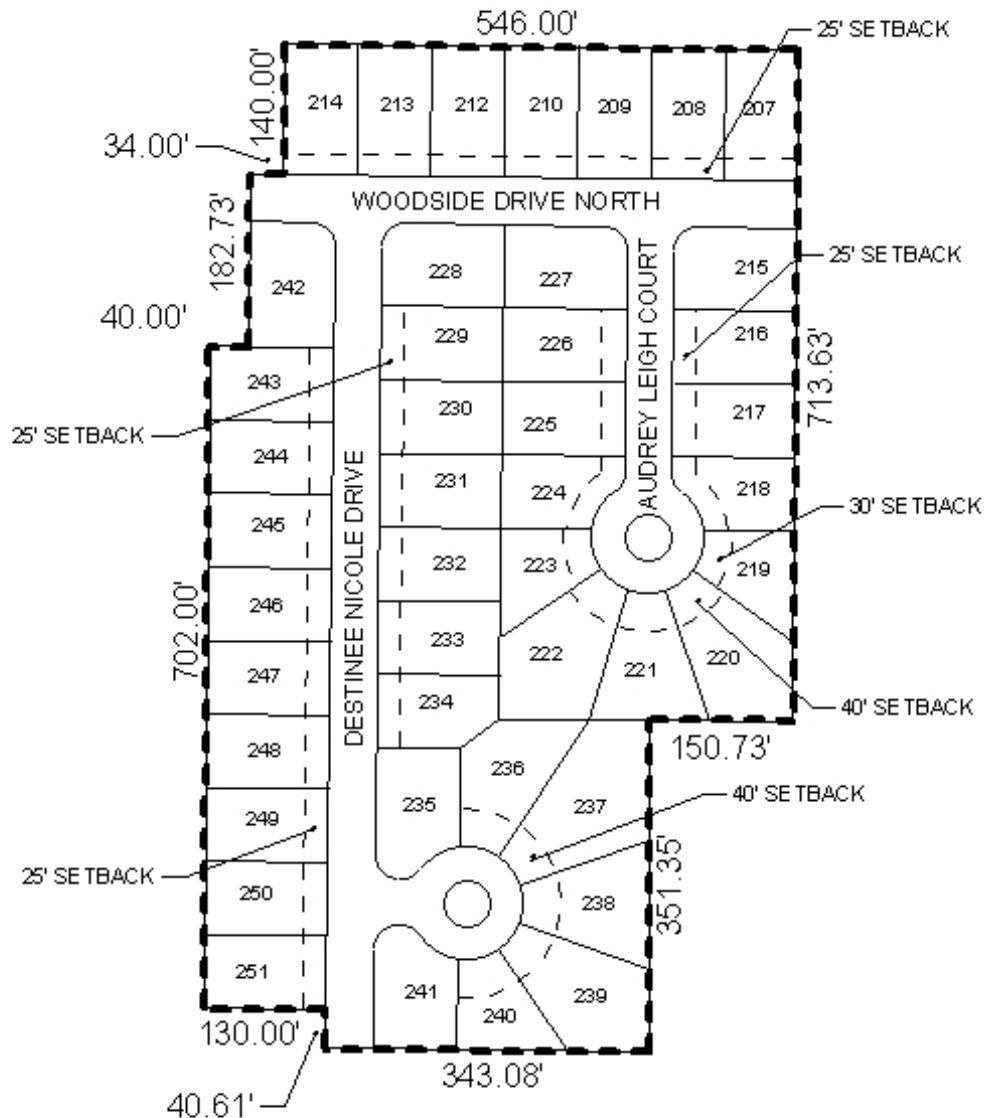
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

N
NTS

DETAIL SITE PLAN



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