

WOODLAND HILLS SUBDIVISION, REMAINDER OF

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 94 lot, 40.1 ± acre subdivision which is located at the West termini of Woodland Way, Woodstone Drive, and Woodbend Drive, and the North terminus of Woodland Hills Drive West; and the West and South termini of Woodforest Drive. The subdivision is served by both public water and sanitary sewer.

The applicant has requested a waiver of a street-stub condition from a previous approval in order allow construction of a 79-lot unit within the proposed subdivision that does not include the area of the required street-stub. A street-stub condition was part the original approval in January 1993, and the original condition was subsequently amended in May 1998 to the following due to the fact that the required street-stub had not yet been provided:

(1) phasing of the development to be administratively approved by the Planning Commission, with the next two units to be developed providing the street stub to the land-locked property to the South and access to Eunice Drive, respectively

Since 1998, Units 4 and 5 have been recorded, however, the above-mentioned condition has only been partially satisfied: the connection to Eunice Drive has been provided, while the unit including the street-stub to the South has not been developed. It should also be noted that the last extension for the subdivision expired in February 2005.

The preliminary plat under consideration depicts 94 lots, which includes the proposed 79-lot "Unit Six" of Woodland Hills, and a 15-lot area for "Future Development." Per the previously mentioned condition, the applicant would be required to construct and record the "Future Development" area either before or simultaneously with the proposed Unit Six in order to be in compliance with the condition. The land-locked property to the South remains land-locked, thus the condition still applies.

It should also be noted that at least one lot appears to be less that the minimum 7,200 square feet required by Section V.D.2. of the Subdivision Regulations. The plat should be revised to ensure that all lots meet the minimum requirements, or indicate that the proposed design is intended to comply with Section VIII.C. of the Regulations.

The area reserved for "Future Development" includes a detention area. The preliminary plat does not indicate a means of access to the detention area, therefore the plat should be revised to provide either an easement or dedicated access from a public right-of-way to the detention area.

A note should be placed on the Final Plat, if approved, stating that maintenance of the detention areas, and any other common areas, are the responsibility of the subdivision's property owners.

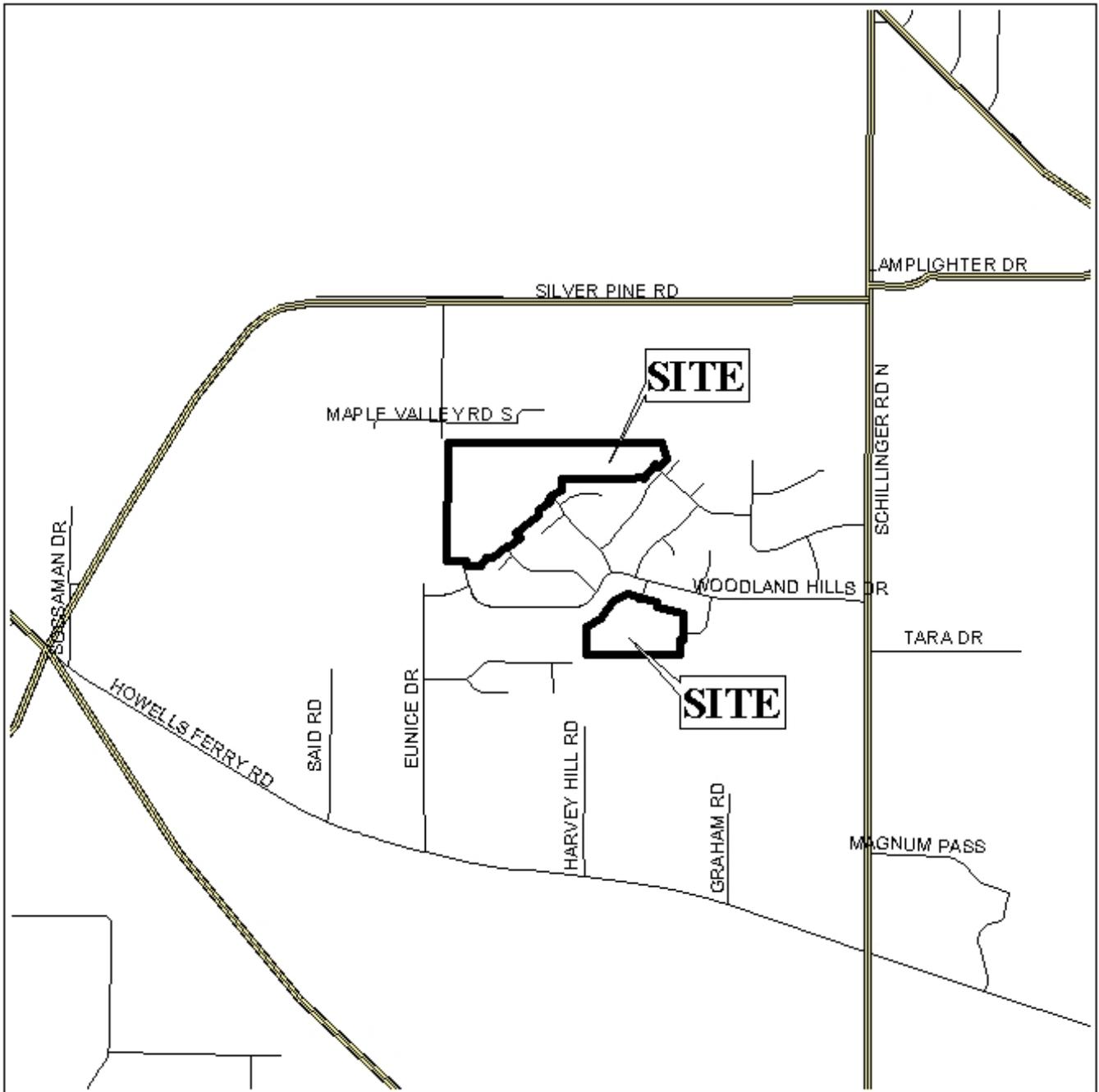
The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the Final Plat, if approved.

The “Future Development” area includes a portion of Hamilton Creek, thus wetlands associated with the creek may occur on the site. The potential presence of wetlands indicates that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Based on the preceding, the street-stub waiver request is Denied, but plat layout is recommended for Tentative Approval, subject to the following conditions: 1) the “future development” area must be developed before or simultaneously with the proposed “Unit Six,” with no recording of “Unit Six” allowed until the street-stub requirement is satisfied; 2) adjustment of lot lines to ensure that all lots meet the minimum size required by Section V.D.2. of the Subdivision Regulations; 3) provision of an easement or dedicated access to all proposed detention areas; 4) labeling of all common areas and detention areas; 5) placement of a note on the Final Plat stating that maintenance of the detention areas and common areas is the responsibility of the subdivision’s property owners; 6) depiction of the 25-foot minimum building setback line; 7) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; and 8) the approval of all applicable federal, state and local agencies regarding wetlands prior to the issuance of any permits or land disturbance.

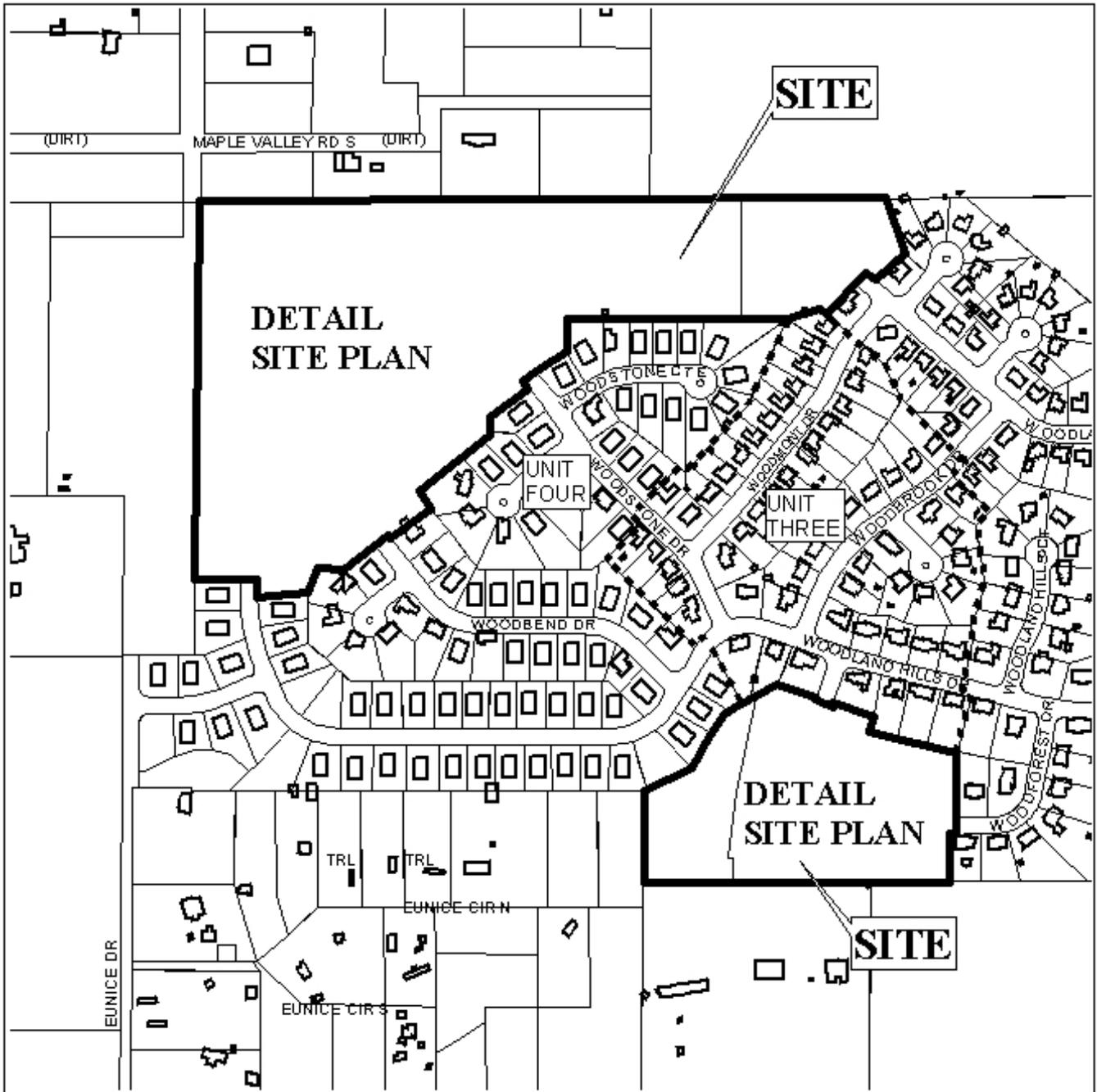
LOCATOR MAP



APPLICATION NUMBER 21 DATE May 4, 2006
APPLICANT Woodland Hills Subdivision, Remainder Of
REQUEST Subdivision



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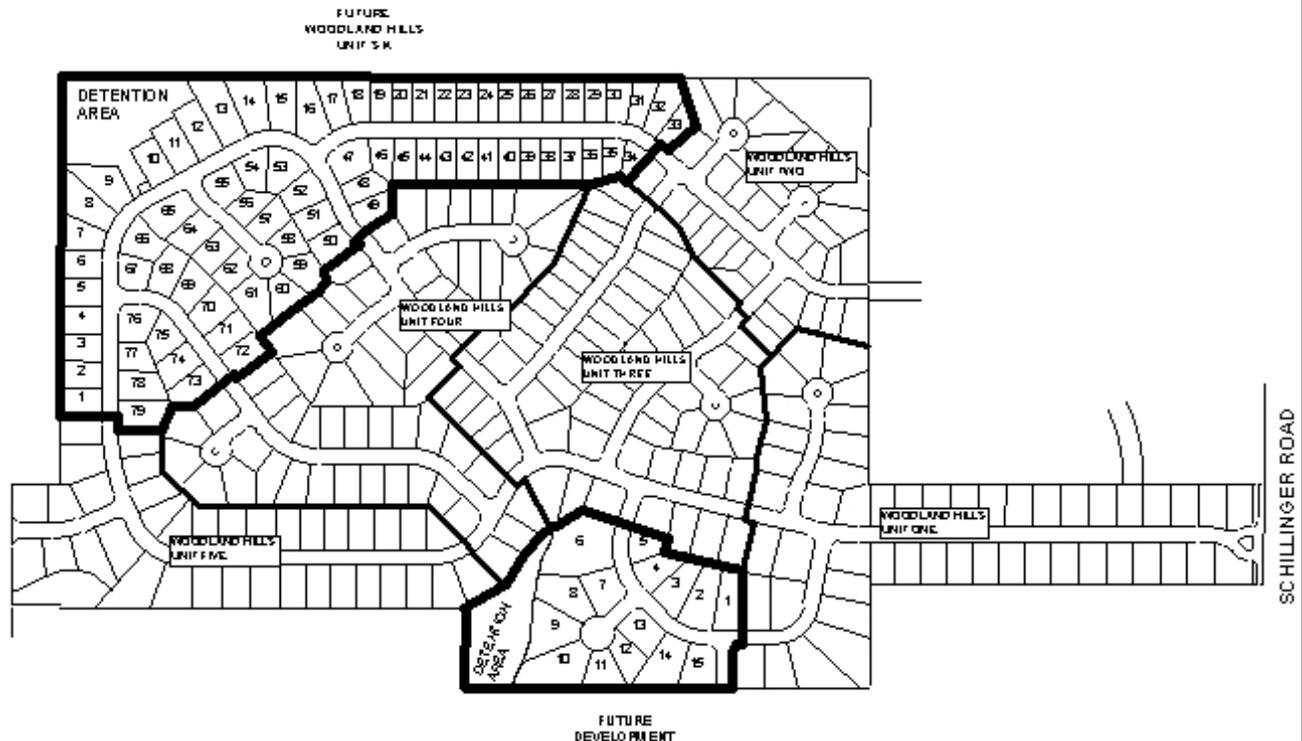
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

NTS

DETAIL SITE PLAN



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