

WAKULLA SUBDIVISION, RE-SUBDIVISION OF LOT 1

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: No Comments

The plat illustrates the proposed 2-lot, 2.5 ± acre subdivision which is located at the West side of Wakulla Drive, 500' ± North of Lakeland Drive, and is located within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic tanks.

The purpose of this application is to create two legal lots of record a single legal lot of record. The site was the subject of a 1-lot subdivision that was approved at the Planning Commission's March 15, 2012 meeting, and has since been recorded in Probate Court.

The site is located on Wakulla Drive, which is a minor street with no curb and gutter. The preliminary plat illustrates that there is currently a 60' right-of-way, making no dedications necessary.

As a mean of access management, a note should be placed on the Final Plat limiting each lot to one curb cut to Wakulla Drive, with the size, design, and location of the curb cut to be approved by Mobile County Engineering and conform to AASHTO standards. It should be noted that upon reviewing City of Mobile aerial photography, it appears that the proposed Lot 2 currently has access to Wakulla Drive through an adjacent lot not included in this Subdivision. If approved, Lot 2 should cease to utilize the access through the adjacent property, or provide documentation and illustrate an easement through the adjacent property.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. The note regarding this requirement should also appear on the Final Plat, if approved.

The site must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating "Must comply with the Mobile County Flood Damage Prevention

Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.” should be placed on the Final Plat.

The lot sizes are labeled in square feet and acres on the preliminary plat. This information should be retained on the Final Plat, if approved.

A 50’ minimum building setback line is indicated on the preliminary plat and should also be illustrated on the Final Plat. It should be noted that the setback exceeds the 25’ minimum building setback required by the Subdivision Regulations.

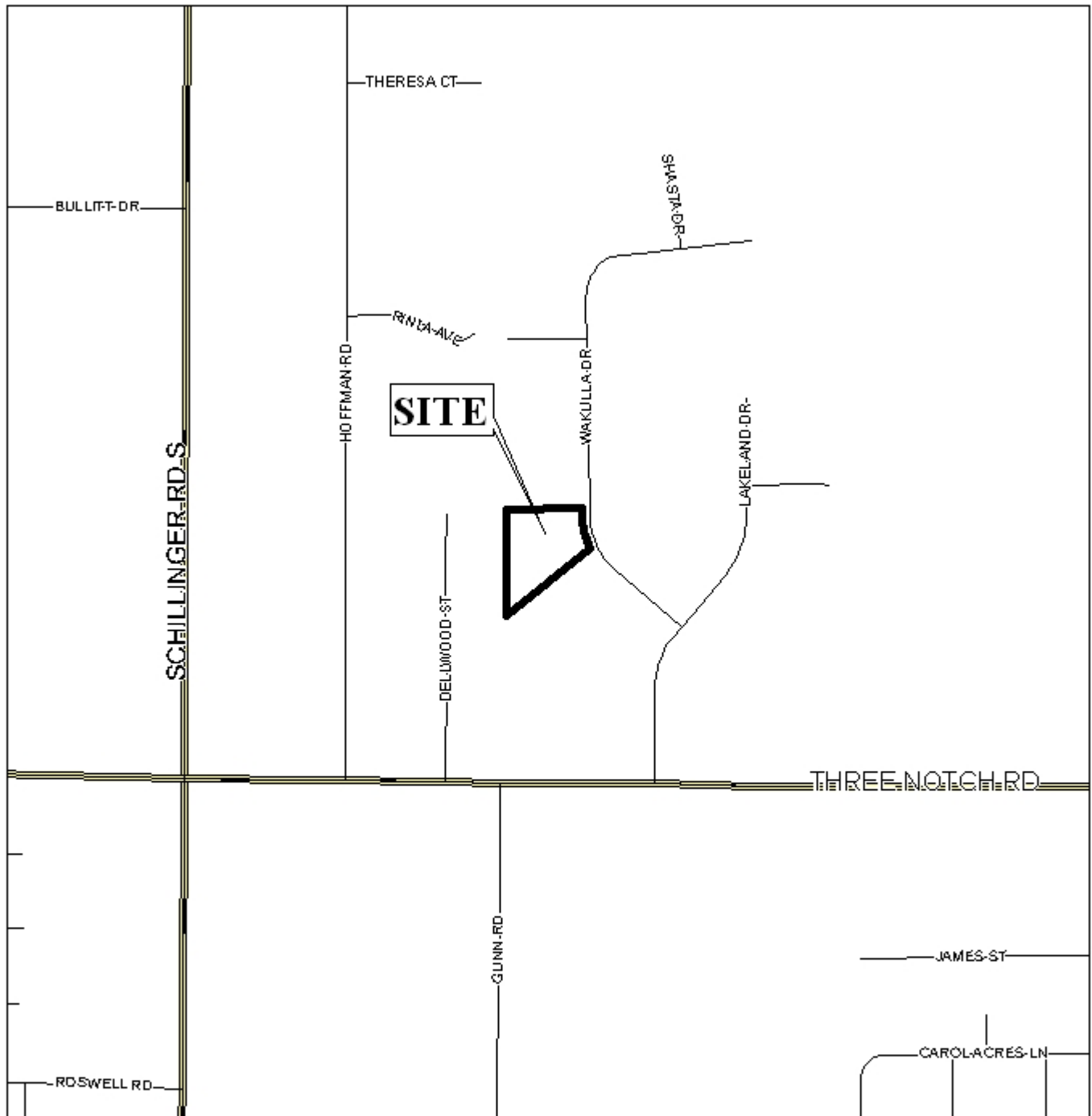
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

Based upon the preceding, this application is recommended for tentative approval, subject to the following conditions:

- 1) retention of the 50-foot minimum building setback line from Wakulla Drive;
- 2) retention of the lot size, in square feet and acres, or provision of a table on the Final Plat with the same information;
- 3) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 4) placement of a note on the Final Plat stating the site must comply with the City of Mobile storm water and flood control ordinances: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);*
- 5) compliance with Fire Department comments *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 6) placement of a note stating that Lot 2 will cease to utilize the access to Wakulla Drive through the adjacent property or provision of documentation and illustrate an easement through the adjacent property;
- 7) placement of a note on the Final Plat limiting each lot to one curb cut to Wakulla Drive, with the size, design, and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards; and

- 8) placement of a note on the Final Plat stating that approval of all applicable federal, state, and local agencies is required for endangered, threatened, or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

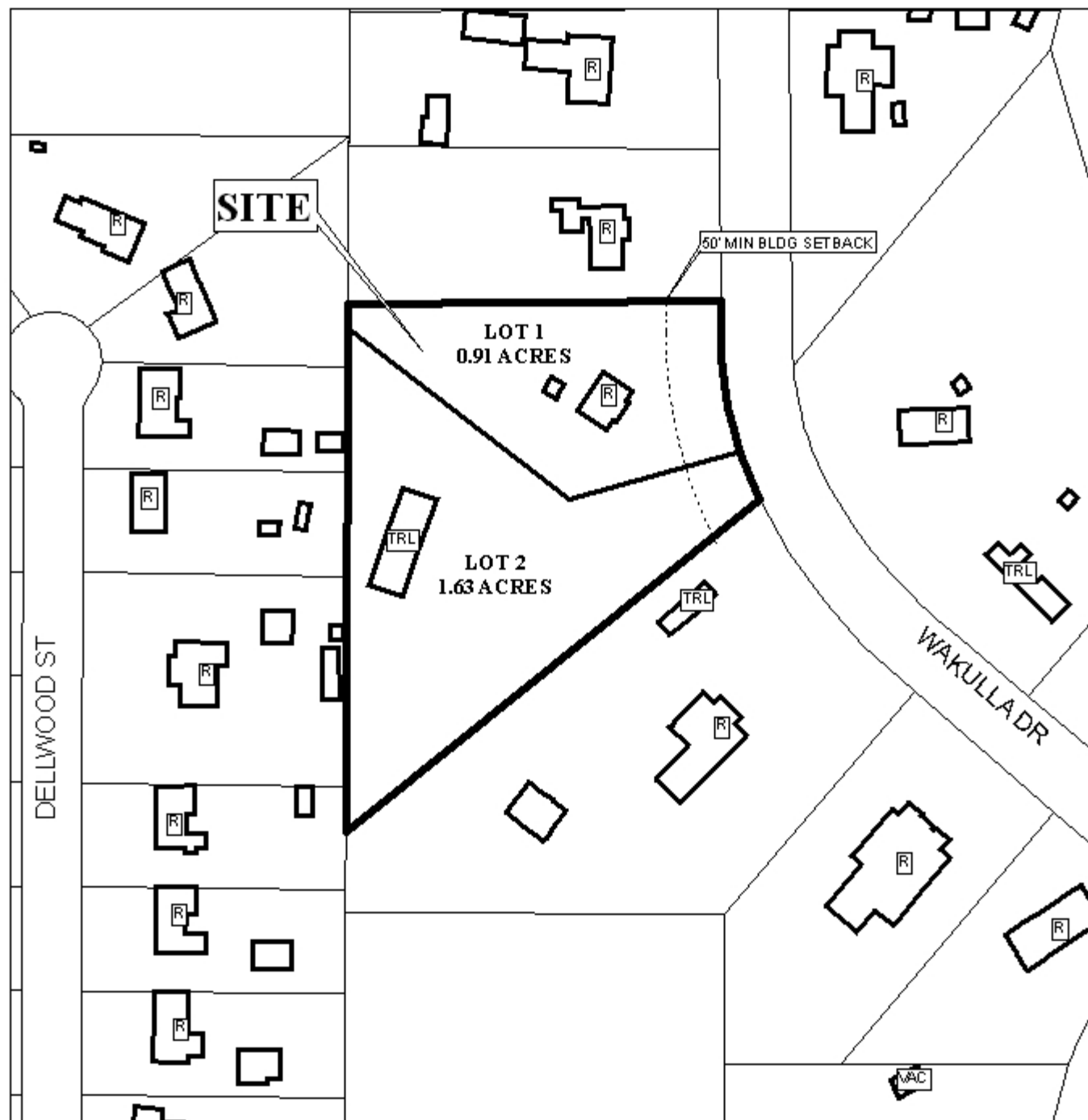
LOCATOR MAP



APPLICATION NUMBER 21 DATE October 4, 2012
APPLICANT Wakulla Subdivision, Resubdivision of Lot 1
REQUEST Subdivision



WAKULLA SUBDIVISION, RESUBDIVISION OF LOT 1



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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