

**SIDEWALK WAIVER REQUEST  
STAFF REPORT****Date: August 2, 2012****NAME**

Forklift Hunter LLC

**LOCATION**216 East I-65 Service Road North  
(East side of East I-65 Service Road North, 600'± North of  
Old Shell Road)**PRESENT ZONING**

B-3, Community Business District

**ENGINEERING****COMMENTS**

1. It appears that there is sufficient room within the ROW or within the property for construction of a sidewalk; however, with the entire frontage currently paved for vehicular access/parking there would have to be extensive reconfiguration, and possible loss of, parking spaces and access to provide a SAFE ADA accessible sidewalk.

2. An ALDOT permit will be required for any revisions to the existing paved area. Applicant is to coordinate with Traffic Engineering, Engineering, and ALDOT for any proposed changes. Applicant will need to provide an approved ALDOT permit (including drawings) prior to obtaining a City of Mobile ROW Permit.

**TRAFFIC ENGINEERING****COMMENTS**

This site is located on the service road of an ALDOT maintained roadway, therefore ALDOT should be consulted regarding construction of the sidewalk.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**REMARKS**

The applicant is requesting a waiver for the construction of a sidewalk along East I-65 Service Road North.

The site was the subject of a one lot Subdivision and Planning Approval applications, which were approved by the Planning Commission at its October 6, 2011 meeting. One of the conditions of the Planning Approval was:

*Revision of the site plan to indicate a compliant City standard sidewalk along the street frontage.*

Since the sidewalk requirement is part of a Planning Approval condition placed upon the site by the Planning Commission, a new Planning Approval request to remove the condition will be required in addition to a Sidewalk Waiver request.

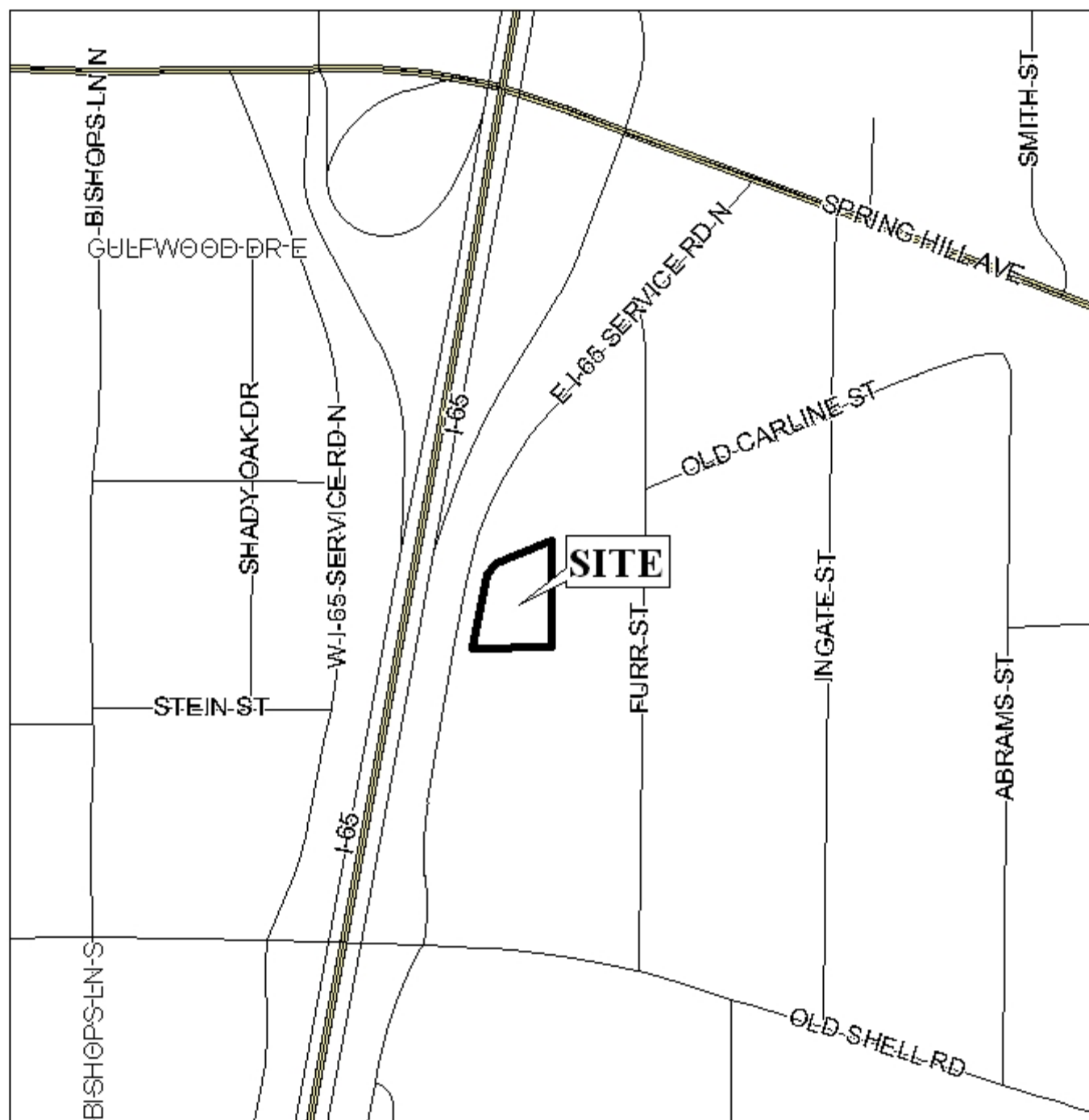
It should also be pointed out that the site has not, apparently, been brought into compliance with the other Planning Approval conditions or the site plan submitted (paving of the rear portion of the site, striping of parking spaces, etc).

Finally, the business, Forklift Hunter, is operating at the site, but has not received a Zoning Clearance or business license, and signs have been erected on the property without permits. A second business is also operating at the site with no apparent approvals or business license.

It should be pointed out that the business licenses and necessary sign permits cannot be issued until the site is brought into compliance with the Planning Approval conditions and the requirements of the Zoning Ordinance.

**RECOMMENDATION** Based upon the preceding, this application is recommended for Holdover until the October 4<sup>th</sup> meeting, so that an application for Planning Approval can be submitted by the August 13, 2012 filing deadline.

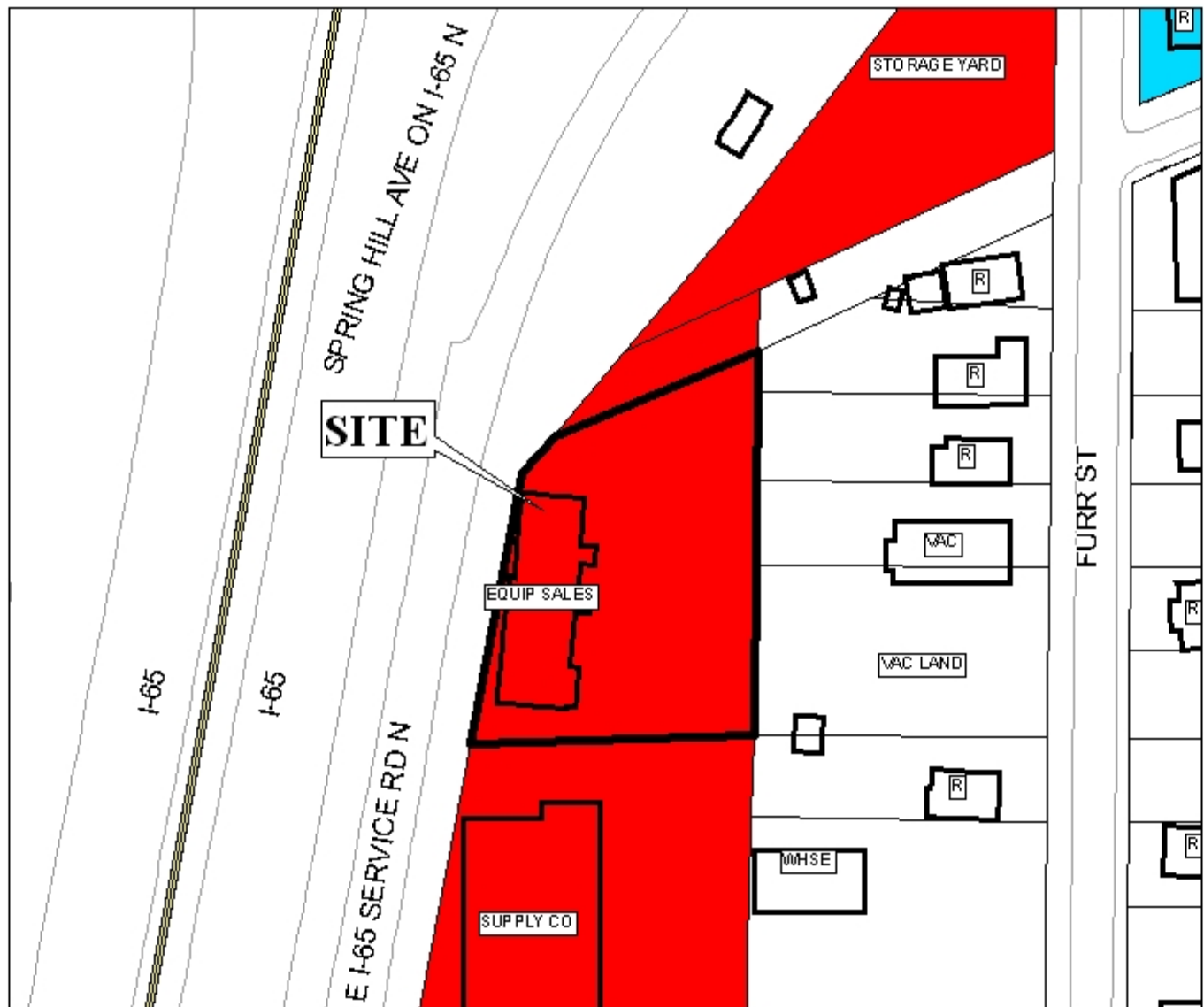
## LOCATOR MAP



APPLICATION NUMBER 21 DATE August 2, 2012  
APPLICANT Forklift Hunter, LLC  
REQUEST Sidewalk Waiver

N  
NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential and business land use.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

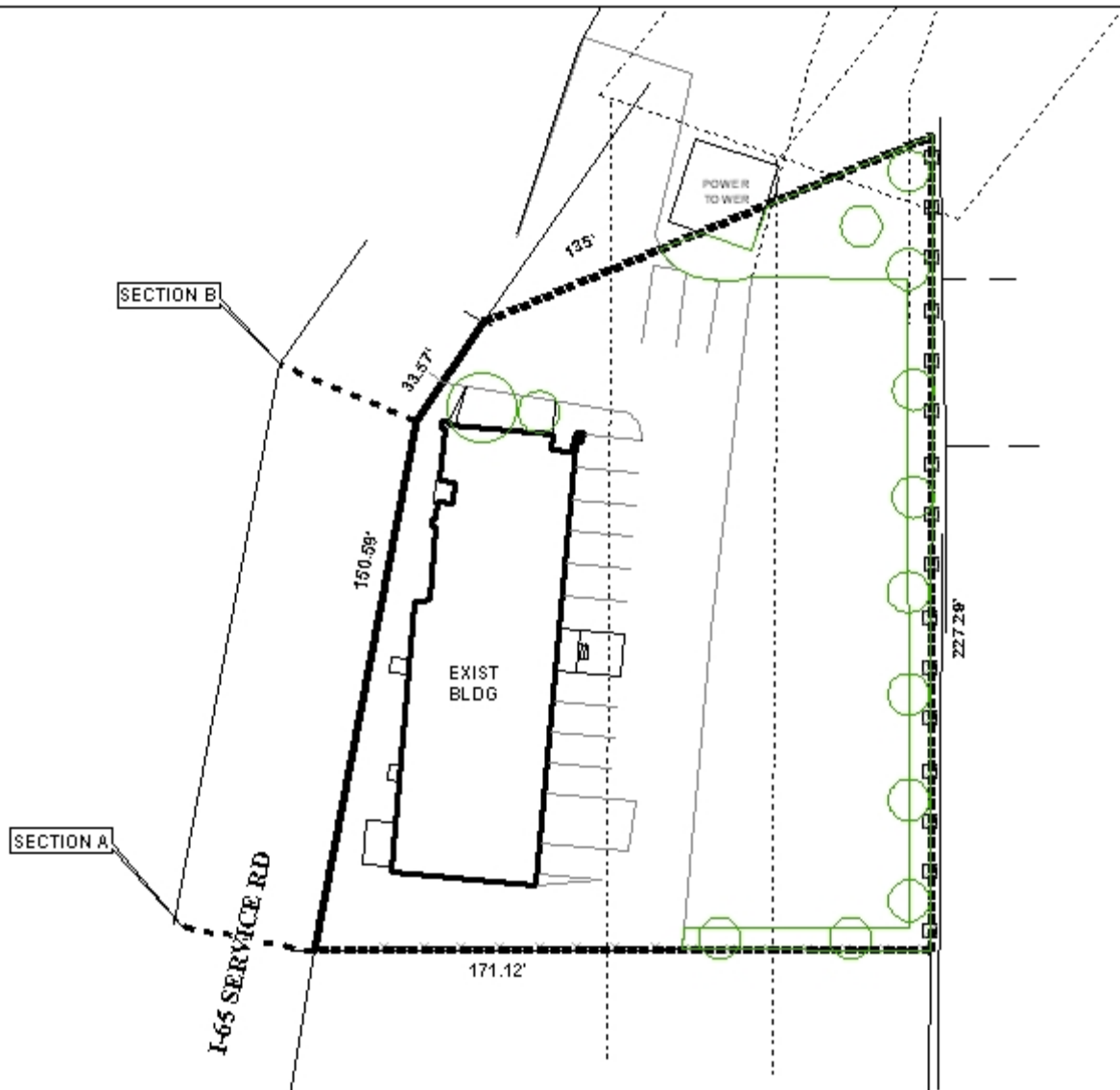


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# SITE PLAN



The site plan illustrates the existing development.

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# SIDEWALK CROSS SECTION DETAIL



SECTION B

HORZ : 1" = 10'  
VERT : 1" = 5'



SECTION A

HORZ : 1" = 10'  
VERT : 1" = 5'

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