

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****August 7, 2017****DEVELOPMENT NAME** DJHB Subdivision**SUBDIVISION NAME** DJHB Subdivision**LOCATION** 601 Cody Road North
Southwest corner Cody Road North and Sellers Lane**CITY COUNCIL
DISTRICT** District 7**AREA OF PROPERTY** 1 Lot / 0.5 ± acres**CONTEMPLATED USE** Planned Unit Development Approval to allow multiple buildings on a single building site, and to create a legal lot of record from a metes-and-bounds parcel.**TIME SCHEDULE
FOR DEVELOPMENT** September 1, 2017**ENGINEERING
COMMENTS**

Subdivision: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide a vicinity map.
- C. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- D. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of the LOT, and list the amount of dedicated acreage.
- E. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- F. Provide the Surveyor's Certificate and Signature.
- G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- H. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain

Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

- I. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- J. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- K. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- L. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.

Planned Unit Development:

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

The existing driveways do not meet current access management standards. The curb cuts should be narrowed to fourteen feet to allow one-way circulation through the site or reduced to only one curb cut to Cody Road. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

REMARKS

The applicant is requesting Planned Unit Development to allow multiple buildings on a single building site, and to create one legal lot or record from a metes-and-bounds parcel. The site is located in Council District 7, and according to the applicant is served by public water and sanitary sewer.

The applicant is proposing to create a legal lot of record from a metes-and-bounds parcel. The proposed lot currently has two existing structures on the site and therefore requires a Planned Unit Development. One of the structures appears to be a salon and barber shop while the second structure is a utility building which the applicant proposes to convert into a concession stand. As it appears, the applicant is not proposing any additional structures to the site, just renovations to convert the utility building into a habitable structure and a commercial use.

The site has been given a Mixed Commercial Corridor (MCC) land use designation, per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land designation mostly applies to transportation corridors west of I-65 serving primarily the low-density (suburban) residential neighborhoods. MCC includes a wide variety of retail, services and entertainment uses.

This designation acknowledges existing commercial development that is spread along Mobile's transportation corridors in a conventional strip pattern or concentrated into shorter segments of a corridor.

Over time, new development and redevelopment in Mixed Commercial Corridors is encouraged to raise design quality, improve connectivity to surrounding neighborhoods; improved streetscapes; and improve mobility and accessibility for all users of the corridor.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The proposed lot appears to meet the minimum size and frontage requirements as defined by Section V.D.2. of the Subdivision Regulations.

The preliminary plat nor the site plan depict the lot size in square feet and acres. The plat and site plan should both be revised to depict lot size in square feet and acres, if approved.

The site fronts Cody Road North, a proposed major street with a required right-of-way width of 100', as shown on the Major Street Plan. However, the plat depicts the right-of-way width of Cody Road North as 60 feet. Therefore dedication to provide 50' from centerline of Cody Road North will be required. The site also fronts Sellers Lane, a minor street with curb and gutter with an adequate 50' right-of-way provided.

The 25-foot minimum building setback line is not depicted on the preliminary plat or on the site plan. Both the plat and the site plan should be revised to depict the 25' minimum building setback line to reflect dedication where it applies.

The site currently has 2 existing curb-cuts to Cody Road North. As the site is currently developed and no plans for redevelopment, the site should be limited to the existing curb-cuts with any changes to the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. It is very important to note that the PUD review is site plan specific; therefore any future changes to the overall site plan must be submitted for PUD review. Also, please note that PUDs expire within one year if no permits are obtained.

The applicant is not proposing any major new development on the site. Instead, it appears that the applicant is simply converting the existing utility building into a concession stand. The structure is approximately 154 total square feet, and will serve customers via a concession window. The applicant plans to add a pass through wall with sliding glass window, replace the exterior door and light fixtures, and paint the interior and exterior of the structure. The applicant also plans to install a three-compartment sink with drain boards, hand sink, vinyl floors, and floor cabinetry with wall wire shelving.

With regards to tree and landscaping, staff cannot determine if the site meets the minimum tree and landscaping requirements, however, no additional work is being proposed at this time, thus full tree and landscaping compliance is not required. Please note that any future redevelopment, expansion, or new building construction may require a minimum of frontage tree compliance.

At the time of any new development or redevelopment, a sidewalk along all street frontages of the property will be required or a sidewalk waiver will need to be submitted.

Lastly, it should be pointed out that the site plan depicts the property boundaries as being 150.00' in width and length; however the actual property lines on the site plan do not measure to a standard engineering scale. Please verify property lines and boundaries and revise the site plan and preliminary plat to reflect accurate to scale measurements/ dimensions.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the Final Plat to depict the lot size in square feet and acres;
- 2) dedication sufficient to provide 50' from centerline of Cody Road North;
- 3) revision of the 25' minimum building setback lines to reflect dedication where it applies;
- 4) revision of the plat to ensure property line boundaries match the labelled dimensions and measure to scale;
- 5) placement of a note on the Final Plat stating that the lot is limited to the existing curb-cuts, with any changes to the size, design and location to be approved by Traffic Engineering and comply with AASHTO standards;
- 6) compliance with Engineering comments: ***“FINAL PLAT COMMENTS** (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): **A.** Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. **B.** Provide a vicinity map. **C.** Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. **D.** Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of the LOT, and list the amount of dedicated acreage. **E.** Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. **F.** Provide the Surveyor's Certificate and Signature. **G.** Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. **H.** Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. **I.** Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. **J.** Add a note that sidewalk is required to*

be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. K. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. L. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.”;

- 7) *compliance with Traffic Engineering comments: “The existing driveways do not meet current access management standards. The curb cuts should be narrowed to fourteen feet to allow one-way circulation through the site or reduced to only one curb cut to Cody Road. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.”;*
- 8) *compliance with Urban Forestry comments: “Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).”*
- 9) *compliance with Fire comments: “All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)”;* and
- 10) *provision of a revised PUD site plan prior to the signing of the Final Plat.*

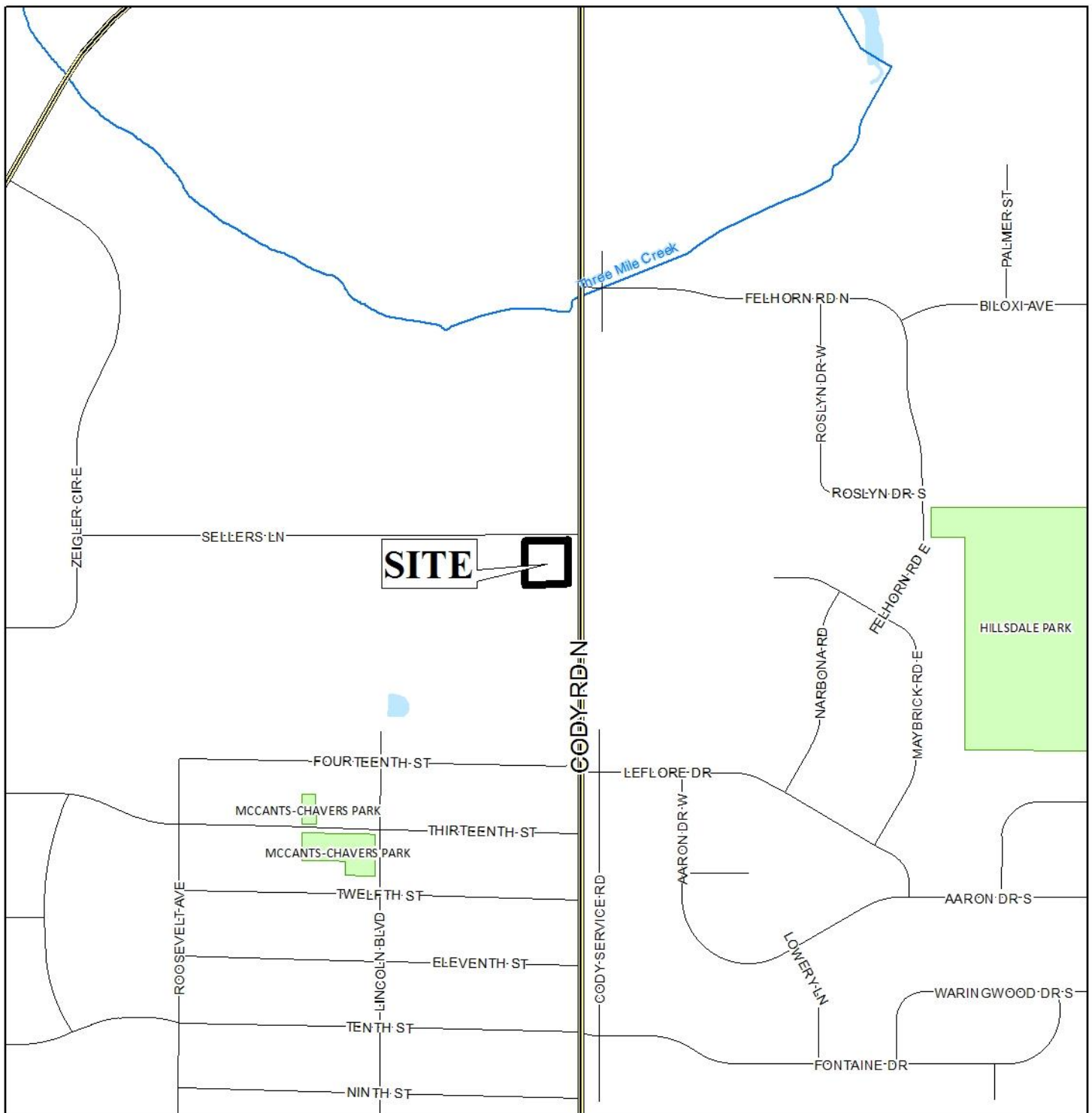
Planned Unit Development: Based upon the preceding, this application is recommended for approval subject to the following:

- 1) *revision of the site plan to depict the lot size in square feet and acres;*
- 2) *dedication sufficient to provide 50’ from centerline of Cody Road North;*
- 3) *revision of the 25’ minimum building setback lines to reflect dedication where it applies;*
- 4) *revision of the plat to ensure property line boundaries match the labelled dimensions and measure to scale;*
- 5) *placement of a note on the site plan stating that the lot is limited to the existing curb-cuts, with any changes to the size, design and location to be approved by Traffic Engineering and comply with AASHTO standards;*
- 6) *compliance with Engineering comments: “ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile*

City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.”;

- 7) compliance with Traffic Engineering comments: *“The existing driveways do not meet current access management standards. The curb cuts should be narrowed to fourteen feet to allow one-way circulation through the site or reduced to only one curb cut to Cody Road. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.”;*
- 8) compliance with Urban Forestry comments: *“Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).”*
- 9) compliance with Fire comments: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).”;*
- 10) must obtain all proper permits, including after the fact permits;
- 11) full compliance with all other municipal codes and ordinances; and
- 12) provision of a revised PUD site plan prior to signing the Final Plat.

LOCATOR MAP



APPLICATION NUMBER 21 DATE September 7, 2017

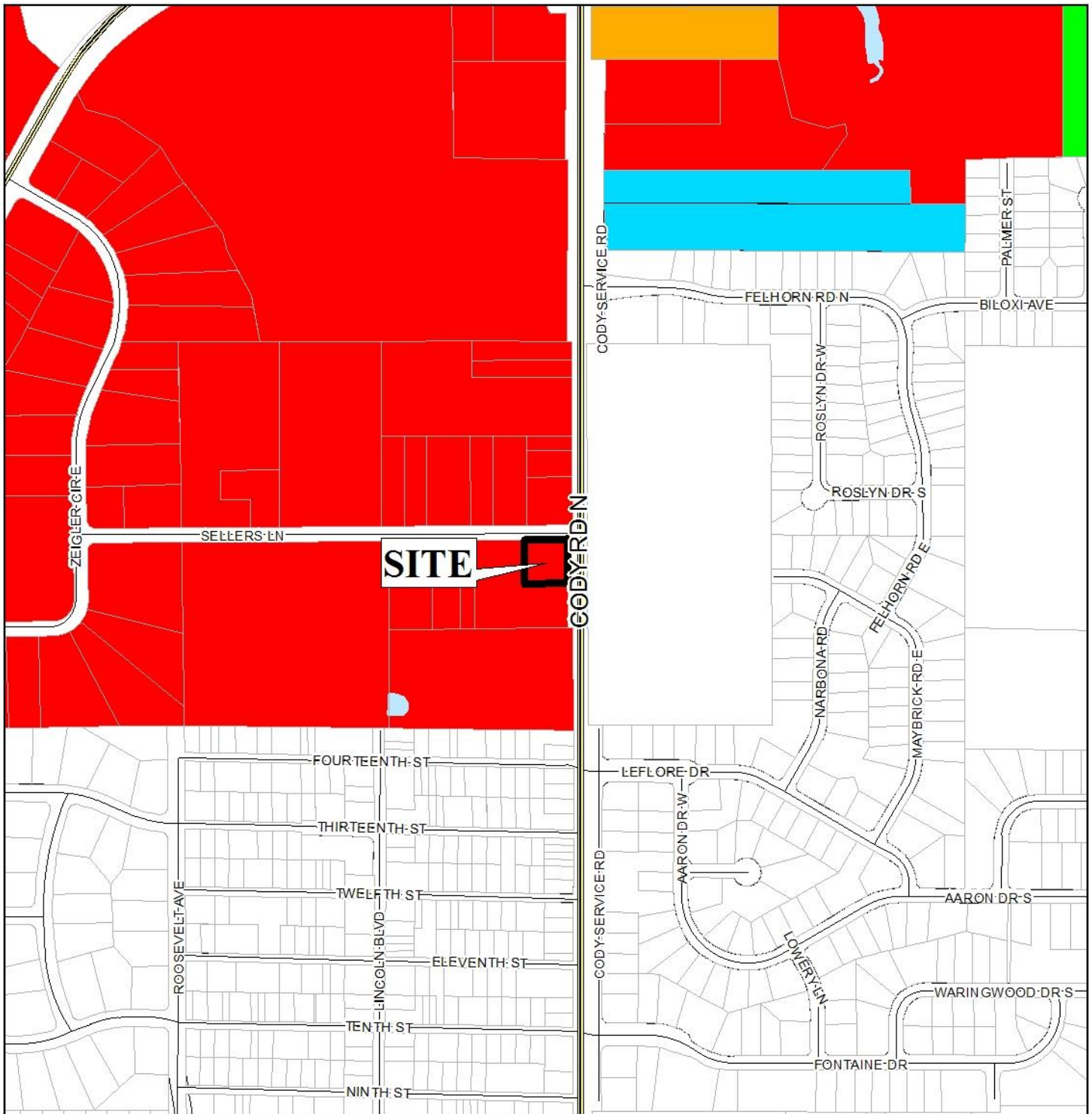
APPLICANT DJHB, Inc. Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

LOCATOR ZONING MAP



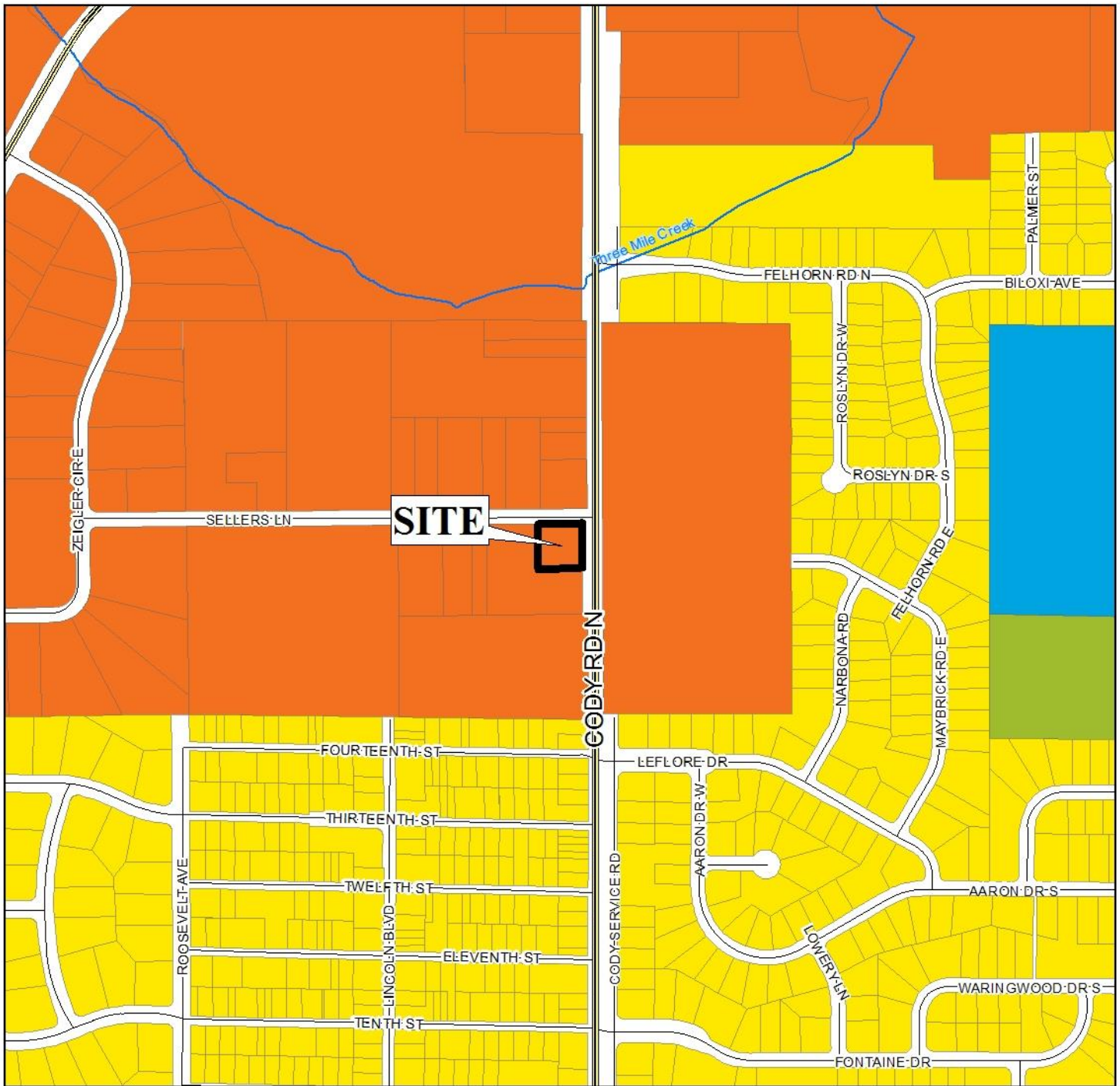
APPLICATION NUMBER 21 DATE September 7, 2017

APPLICANT DJHB, Inc. Subdivision

REQUEST Subdivision, Planned Unit Development



FLUM LOCATOR MAP



APPLICATION NUMBER 21 DATE September 7, 2017

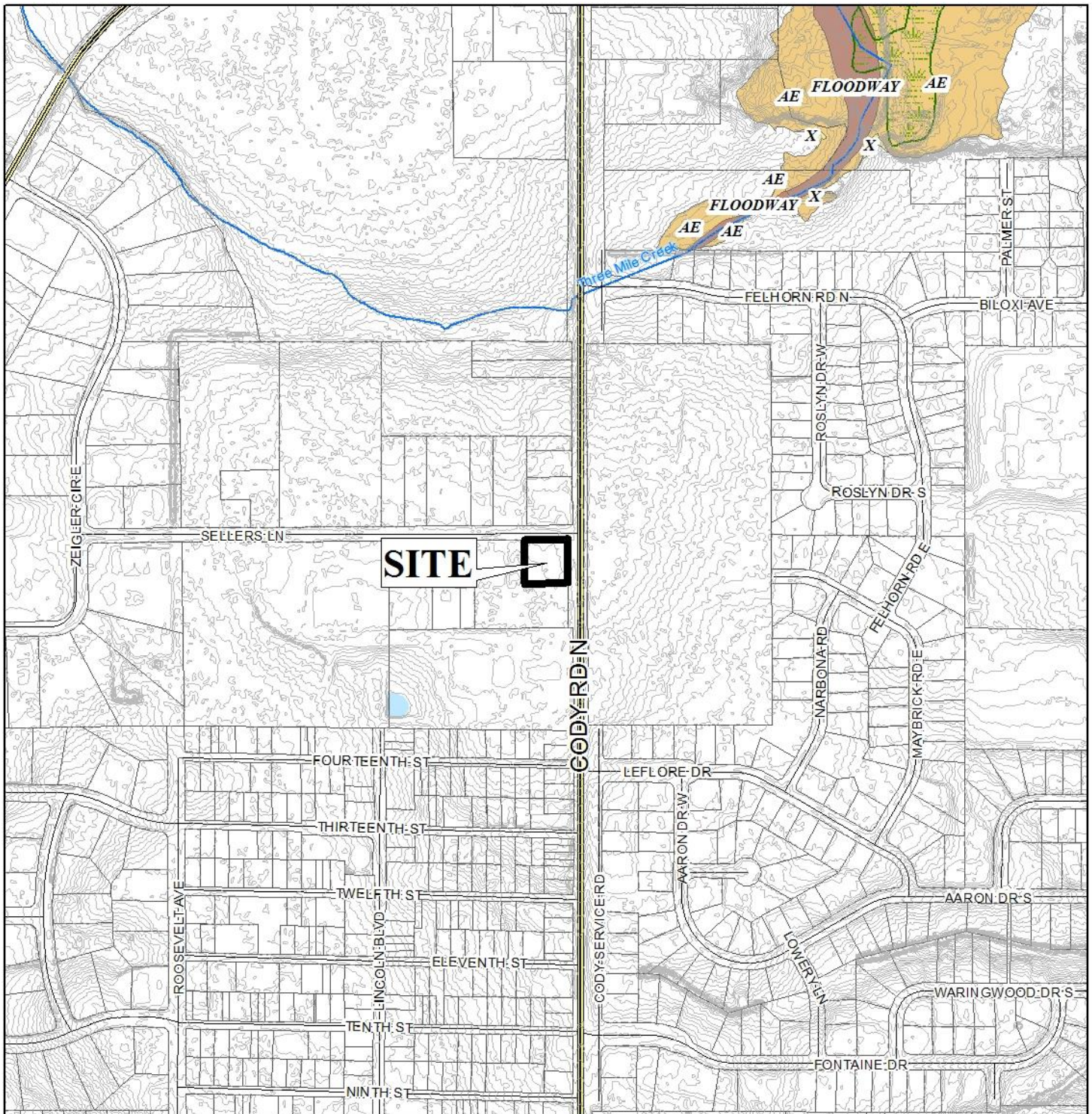
APPLICANT DJHB, Inc. Subdivision

REQUEST Subdivision, Planned Unit Development

Low Density Residential	Neighborhood Center- Traditional	Downtown Waterfront	Water Dependent
Mixed Density Residential	Traditional Corridor	Light Industry	Parks & Open Space
Downtown	Neighborhood Center- Suburban	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 21 DATE September 7, 2017

APPLICANT DJHB, Inc. Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units. A church lies south of the site.

APPLICATION NUMBER 21 DATE September 7, 2017

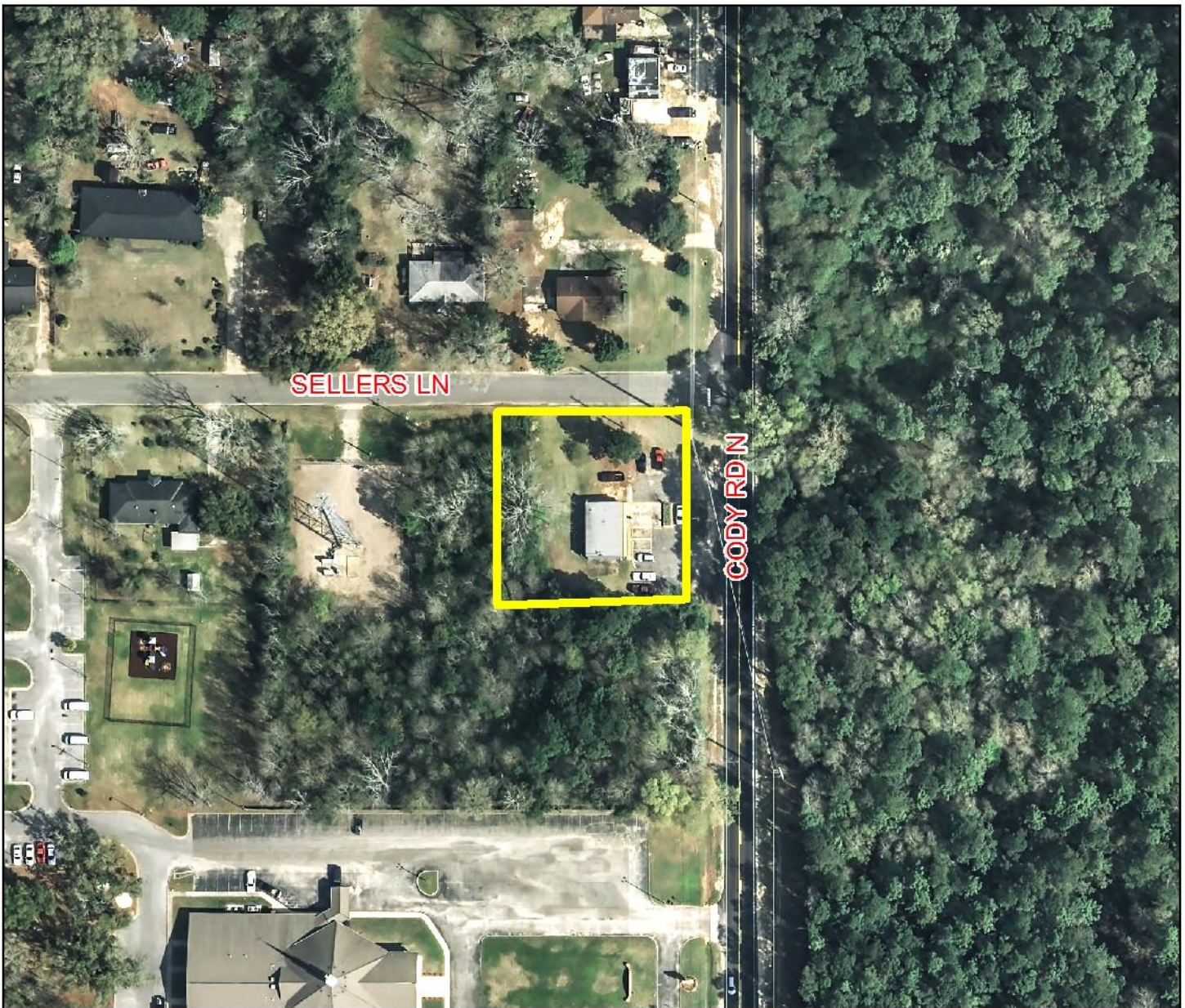
APPLICANT DJHB, Inc. Subdivision

REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



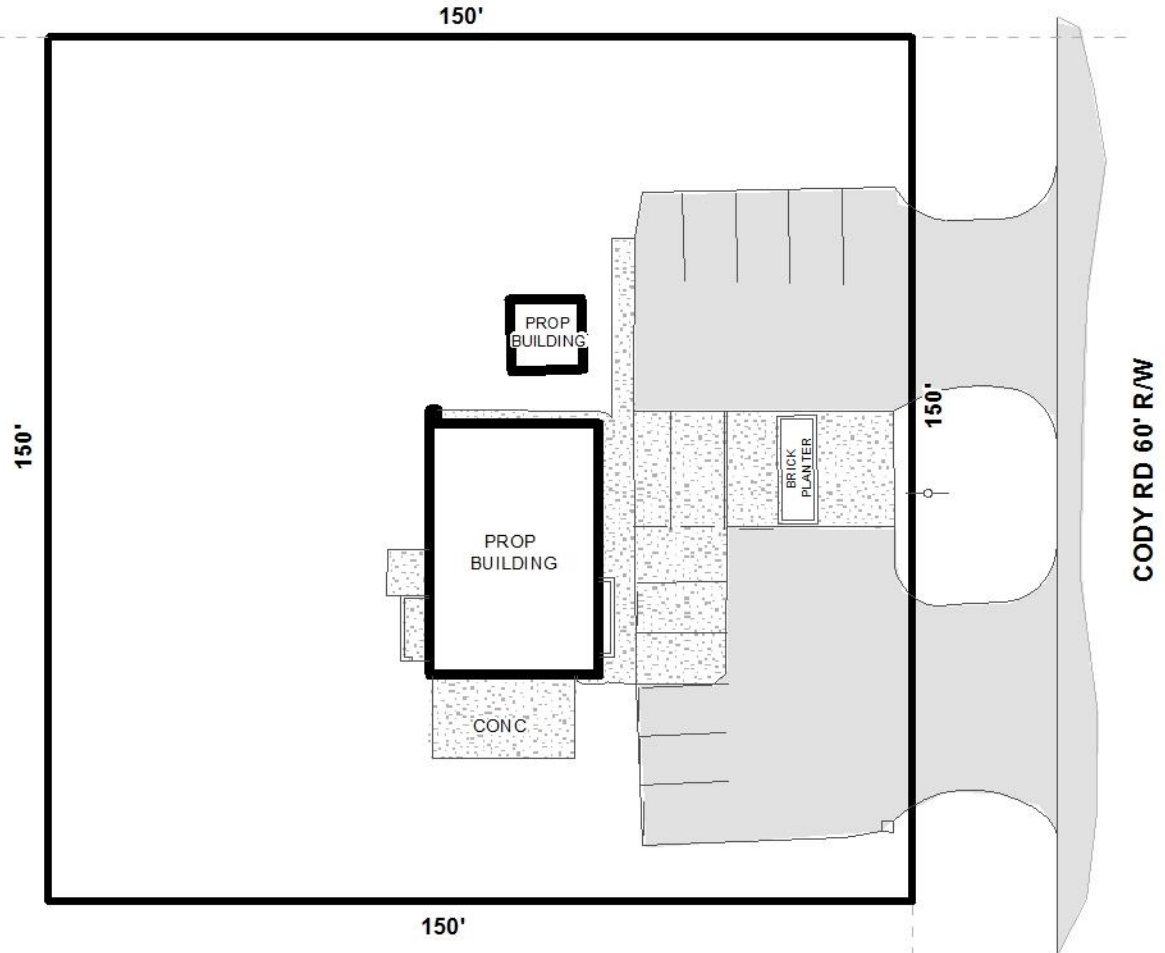
The site is surrounded by residential units. A church lies south of the site.

APPLICATION NUMBER 21 DATE September 7, 2017
 APPLICANT DJHB, Inc. Subdivision
 REQUEST Subdivision, Planned Unit Development



SITE PLAN

SELLERS LN 50' R/W



The site plan illustrates the proposed buildings, and proposed parking.

APPLICATION NUMBER 21 DATE September 7, 2017

APPLICANT DJHB, Inc. Subdivision

REQUEST Subdivision, Planned Unit Development



NTS