

## **CAMDEN POINTE SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 60 lot, 18 ± acre subdivision which is located on the East side of Dawes Road, 630'± South of Dawes Lake Road. The applicant states that the subdivision is served by public water and sanitary sewer systems provided by South Alabama Utilities.

The purpose of this application is to resubdivide one parcel into 60 lots, three of which will accommodate existing development. It appears that an adjacent parcel (R023406140000004.001.) was once part of the parcel currently being considered for subdivision, but it appears that it has changed hands several times since 1985 (according to online records at the Mobile County Revenue Commission). Information verifying online records should be provided by the applicant prior to the signing of the final plat, if approved.

The site fronts Dawes Road, a proposed major street with a right-of-way of 80-feet. As a proposed major street, the right-of-way should be a minimum of 100-feet, thus sufficient right-of-way should be dedicated to Mobile County to provide 50 feet, as measured from the centerline of Dawes Road.

Access management is a concern due to Dawes Road's status as a proposed major street. Proposed Lot 1 will have frontage on both Dawes Road and Camden Pointe Drive, a street proposed as part of the subdivision: Lot 1 should be denied direct access to Dawes Road. Proposed Lots 58-60 will only have frontage on Dawes Road, therefore each lot should be limited to one curb-cut each. All lots, except as previously stated, should be limited to one curb-cut each, with the size, design and location to be approved by Mobile County Engineering.

The 25-foot minimum building setback line should be depicted for all lots, even those with existing development. The setback line for those lots with frontage on Dawes Road should also be depicted, and should reflect the required dedication. The setback line should be depicted where the lots are a minimum of 60-feet in width.

Lot 58 will be a flag lot with approximately 46 feet of frontage onto Dawes Road. It appears that the lot will accommodate existing development. The odd shape of the lot will require a waiver of Sections V.D.1. and V.D.3. of the Subdivision Regulations, and it is recommended that no future subdivision of the lot be allowed until additional frontage on a public street is provided.

While the site is in Mobile County, compliance with the City of Mobile stormwater and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances must be submitted to the Planning Section of Urban Development prior to the signing of the final plat, if approved.

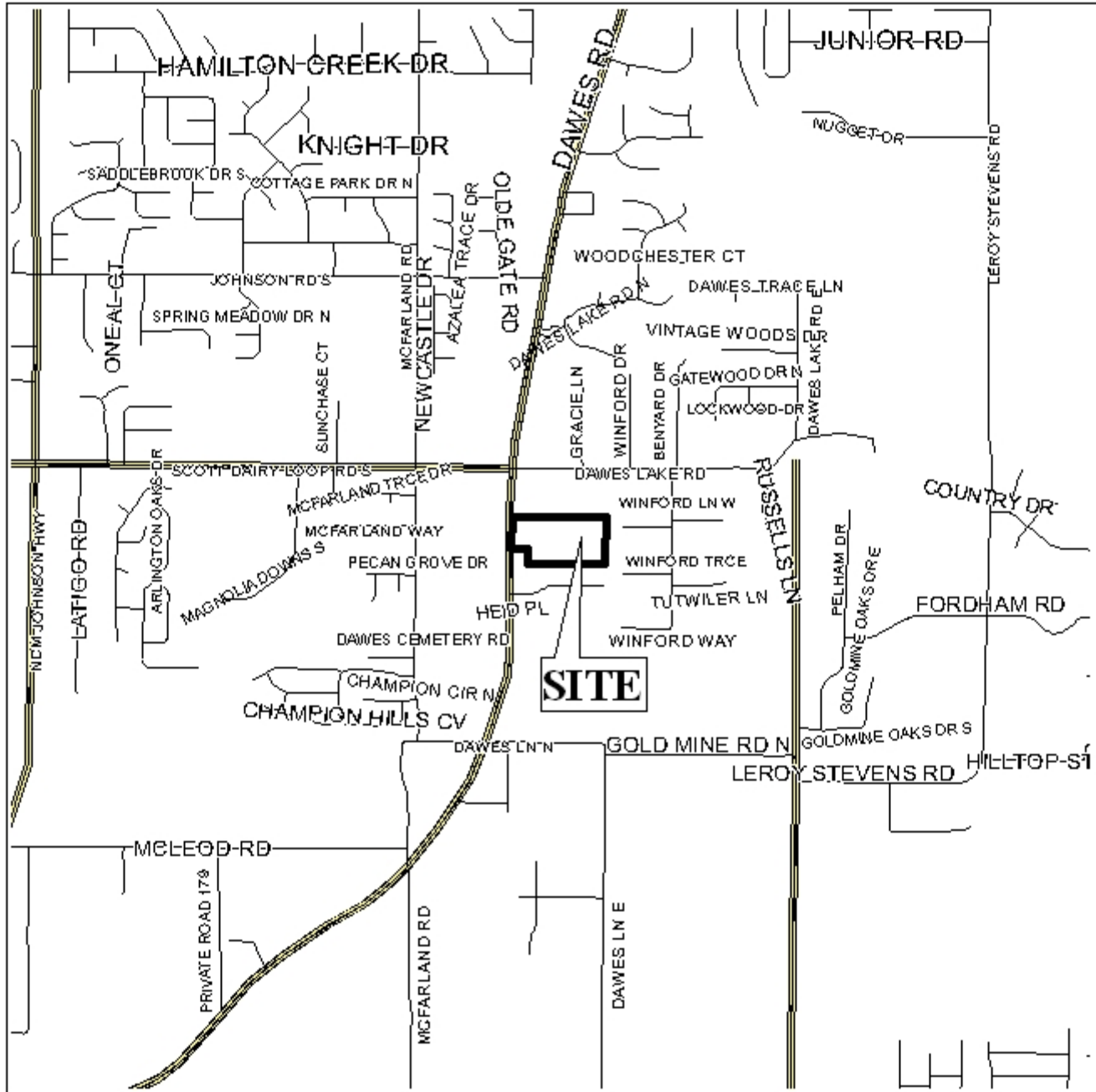
Common areas and detention areas are shown on the plat. A note should be placed on the plat stating that maintenance of the common areas and detention common areas shall be the responsibility of the property owners.

A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

With a waiver of Sections V.D.1. and V.D.3. for Lot 58, the plat is recommended for Tentative Approval, subject to the following conditions:

- 1) provision of documentation to the Planning Section of Urban Development verifying that parcel R023406140000004.001. has had multiple ownership changes, prior to the signing of the final plat;
- 2) dedication of right-of-way sufficient to provide 50-feet, as measured from the centerline of Dawes Road;
- 3) depiction of the 25-foot minimum building setback line for all lots (including lots 58-60), adjusted to reflect required dedication;
- 4) placement of a note on the final plat stating that Lot 1 is denied direct access to Dawes Road, and that all lots are limited to one curb-cut each, with the size, design and location of all curb-cuts to be approved by the Mobile County Engineering Department;
- 5) placement of a note on the plat stating that future subdivision of Lot 58 not allowed until additional frontage on a public street is provided;
- 6) provision of a certification letter from a licensed engineer to the Planning Section of Urban Development, certifying that the stormwater detention, drainage facilities, and release rate comply with the City of Mobile stormwater and flood control ordinances, prior to the signing and recording of the final plat;
- 7) revision of the plat to label each lot with its size in square feet, or provision of a table on the plat depicting the same information;
- 8) labeling of all common areas, including the detention basins, and placement of a note on the final plat stating that maintenance of the common areas is the responsibility of the subdivision's property owners; and
- 9) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

# LOCATOR MAP



APPLICATION NUMBER 21 DATE June 21, 2007

APPLICANT Camden Pointe

REQUEST Subdivision



NTS

# CAMDEN POINTE SUBDIVISION



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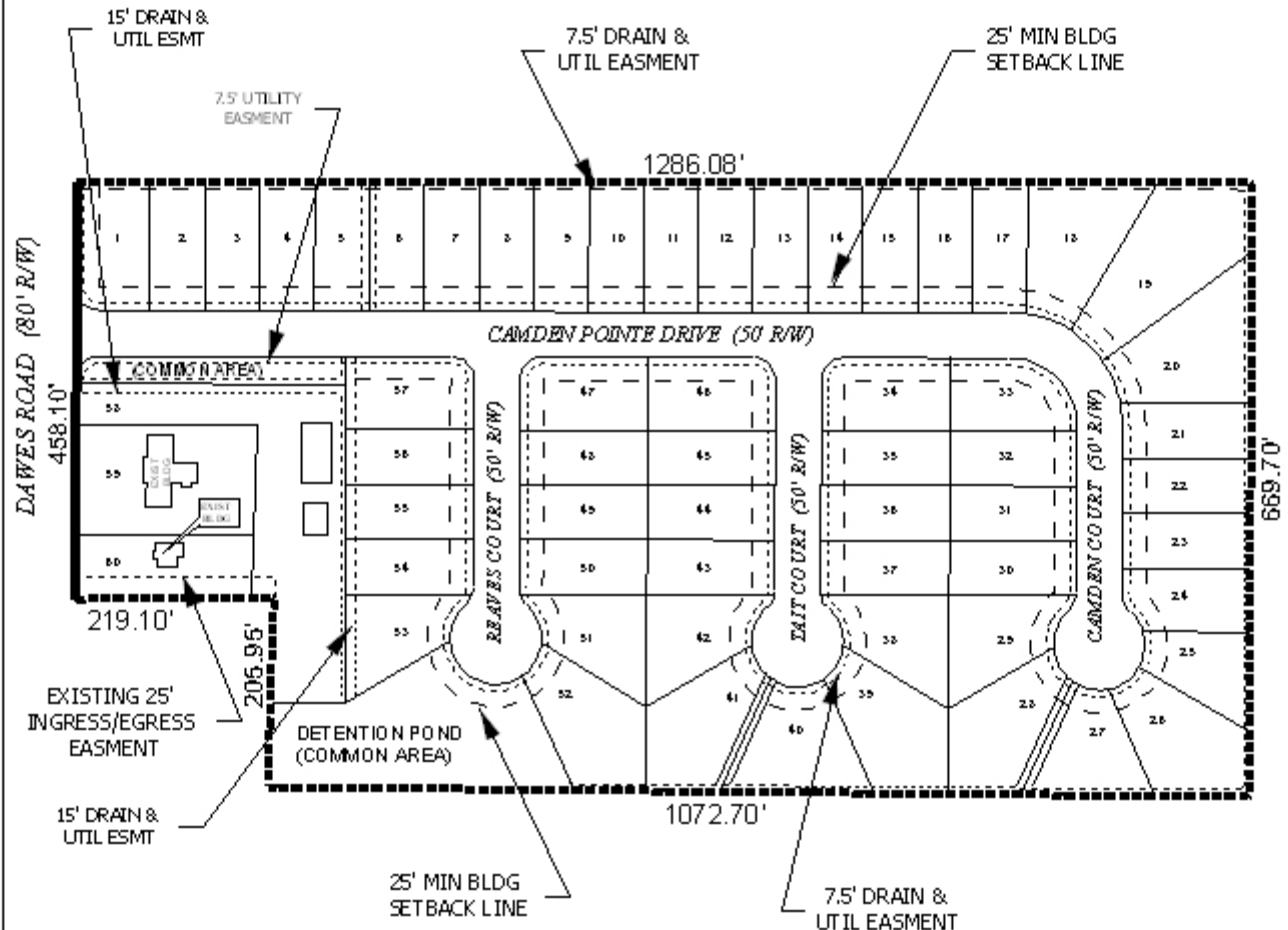
LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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# DETAIL SITE PLAN



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 APPLICANT Camden Pointe Subdivision  
 REQUEST Subdivision



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