

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: December 18, 2008**

|   |   |
|---|---|
| <b><u>SUBDIVISION NAME</u></b>                  | Saint Augustine Subdivision, Resubdivision of   |
| <b><u>DEVELOPMENT NAME</u></b>                  | Saint Augustine Subdivision, Resubdivision of   |
| <b><u>LOCATION</u></b>                          | 3953 Springhill Avenue<br>(Southwest corner of Springhill Avenue and North<br>McGregor Avenue)  |
| <b><u>CITY COUNCIL<br/>DISTRICT</u></b>         | District 7  |
| <b><u>AREA OF PROPERTY</u></b>                  | 2 Lot/1.3± Acre   |
| <b><u>CONTEMPLATED USE</u></b>                  | Planned Unit Development Approval to allow shared<br>access and parking between two building sites and Subdivision approval to create two legal lots<br>of record from a legal lot and a metes and bounds parcel.                           |
| <b><u>TIME SCHEDULE<br/>FOR DEVELOPMENT</u></b> | Immediately   |
| <b><u>ENGINEERING<br/>COMMENTS</u></b>          | Must comply with all storm water and flood control<br>ordinances. Any work performed in the right of way will require a right of way permit.  |
| <b><u>TRAFFIC ENGINEERING<br/>COMMENTS</u></b>  | Driveway number, size, location, and design to be<br>approved by Traffic Engineering and conform to AASHTO standards.   |
| <b><u>URBAN FORESTRY<br/>COMMENTS</u></b>       | Property to be developed in compliance with state and local<br>laws that pertain to tree preservation and protection on both city and private properties (State Act<br>61-929 and City Code Chapters 57 and 64).                            |
| <b><u>FIRE DEPARTMENT<br/>COMMENTS</u></b>      | All projects must comply with the requirements of the 2003<br>International Fire Code, including Appendices B through D, with local amendments, and the<br>2003 International Existing Building Code.                                       |
| <b><u>REMARKS</u></b>                           | The applicant is seeking Subdivision approval to create two<br>legal lots of record from a legal lot and a metes and bounds parcel and Planned Unit<br>Development approval, to allow shared access and parking between two building sites. |

The proposed 1.3± acre, 2-lot subdivision fronts Springhill Avenue and McGregor Avenue, both major streets as illustrated on the Major Street Plan Component of the Comprehensive Plan. The provision of a minimum of 50-feet of right-of-way from the centerline of Springhill Avenue and McGregor Avenue would be required, and must be illustrated on the preliminary plan and site plan. A previous subdivision, recorded in 1996, required sufficient dedication for a portion of this site; as such, further dedication on the remaining frontage along Springhill Avenue would be required.

Access management is a concern; due to the location at the intersection of two major streets; however, the applicant is proposing one 24-foot wide two-way, curb cut along Springhill Avenue and an approximately 16-foot one-way (entrance), curb cut on McGregor Avenue, which should be sufficient for the number of parking spaces provided on site. However, the site plan should be revised to illustrate the curbing and radius for this curb cut, it should also be signed as one-way entrance only as well.

Planned Unit Development review, stated in Section 64-5. of the Zoning Ordinance, examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant is proposing a redevelopment of an existing 5,798 square-foot preschool and daycare facility to an Engineering/Architectural office on Lot 1, the applicant proposes the addition of approximately 1,237 square-feet office space to support staffing for the professional business. The applicant proposes to lease the 4,068 square-foot building on Lot 2 for businesses consistent with B-2 zoning. Since both lots will share access/parking, the total provided (42) parking spaces exceed the 37 spaces that are required by the Zoning Ordinance.

It should also be pointed out that Springhill Avenue is a five-lane roadway at this location, the WAVE transit system appears to have a route (Route 4) along this section of Springhill Avenue and that it is unlikely that the proposed redevelopment would generate excess traffic associated with local business, retail and food-related services.

Furthermore, compliance with the tree and landscaping requirements of the Zoning Ordinance will be required. Information on the site plan indicates that adequate area will be available for compliance with the landscaping and tree requirements of the Zoning Ordinance. It should be noted that the trees planted (along Springhill Avenue) to comply with the ordinance from a previous development may not meet the requirements as illustrated, since they are not located

within the dedicated right-of-way. However, staff does allow the reduction of the existing linear feet along Springhill Avenue covered by the canopy of existing trees along this section of dedicated right-of-way. Therefore, the planting of additional trees may be required to meet the requirements of the Ordinance.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

It should be noted that the applicant states and noted on the site plan that trash collection will be by private trash pick-up firm and that no dumpster will be provided. However, if a dumpster will be provided it must meet the setback and buffering requirements of the Ordinance.

### **RECOMMENDATION**

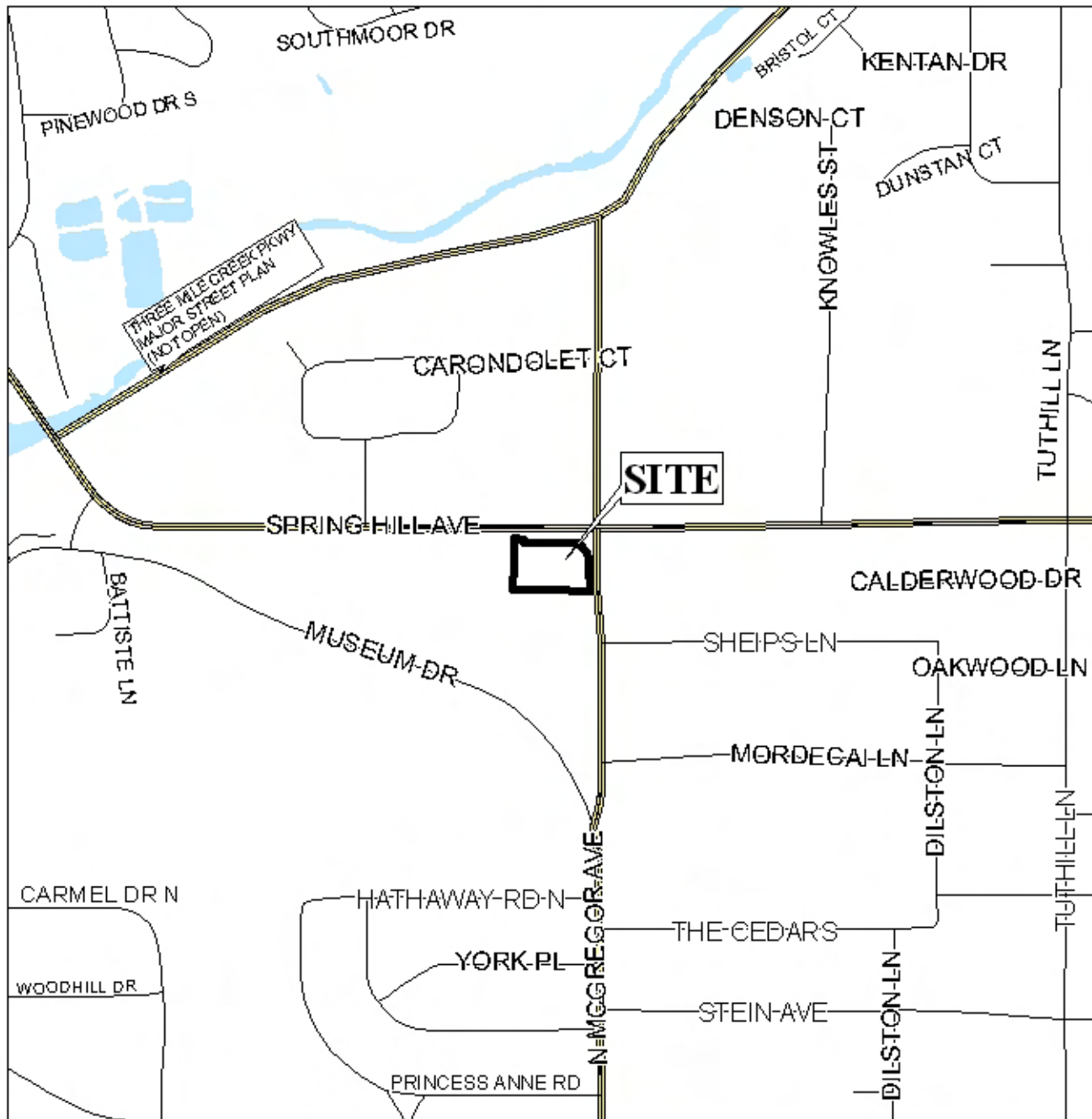
**Subdivision:** Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) labeling of all detention/retention areas, and placement of a note on the site plan and Final Plat stating that maintenance of detention/retention areas is the responsibility of the property owners;
- 2) full compliance with the Tree Planting requirements of the Ordinance;
- 3) placement of a note on the site plan and Final Plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 4) provision of two (2) revised PUD site plans to the Planning Section of Urban Development prior to the signing of any Subdivision plat; and
- 5) full compliance with all other municipal codes and ordinances.

**Planned Unit Development:** Based upon the revised PUD site plan, this application is recommended for Approval, subject to the following:

- 1) labeling of all detention/retention areas, and placement of a note on the site plan and Final Plat stating that maintenance of detention/retention areas is the responsibility of the property owners;
- 2) full compliance with the Tree Planting requirements of the Ordinance;
- 3) placement of a note on the site plan and Final Plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 4) the provision that if a dumpster is provided, it must meet the setback and buffering requirements of the Ordinance;
- 5) provision of two (2) revised PUD site plans to the Planning Section of Urban Development prior to the signing of any Subdivision plat; and
- 6) full compliance with all other municipal codes and ordinances.

## LOCATOR MAP



APPLICATION NUMBER 21 & 22 DATE December 18, 2008

APPLICANT Saint Augustine Subdivision, Resubdivision

REQUEST Subdivision, Planned Unit Development

N  
NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



An office is located to the west of the site, single family residential units and a retail business are located to the north, single family residential units are also to the east and south.

APPLICATION NUMBER 21 & 22 DATE December 18, 2008

APPLICANT Saint Augustine Subdivision, Resubdivision

REQUEST Subdivision, Planned Unit Development

LEGEND

|     |     |     |     |     |     |     |     |      |     |     |     |     |     |     |
|-----|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|
| R-1 | R-2 | R-3 | R-A | R-B | H-B | T-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |
|-----|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|

N  
NTS



## PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



An office is located to the west of the site, single family residential units and a retail business are located to the north, single family residential units are also to the east and south.

APPLICATION NUMBER 21 & 22 DATE December 18, 2008

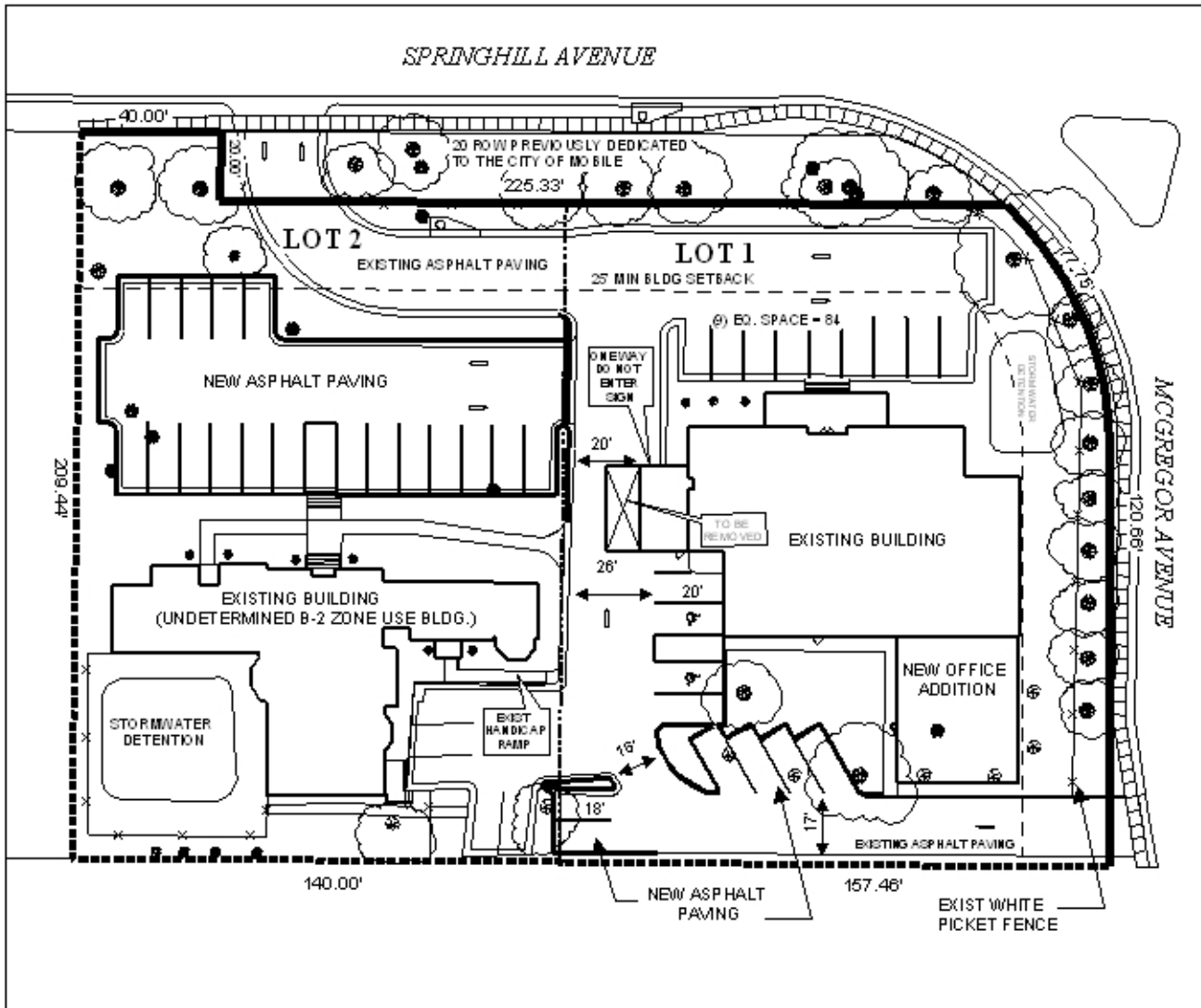
APPLICANT Saint Augustine Subdivision, Resubdivision

REQUEST Subdivision, Planned Unit Development



NTS

# SITE PLAN



The site plan illustrates the new office addition, new paving, parking, drives and setbacks.

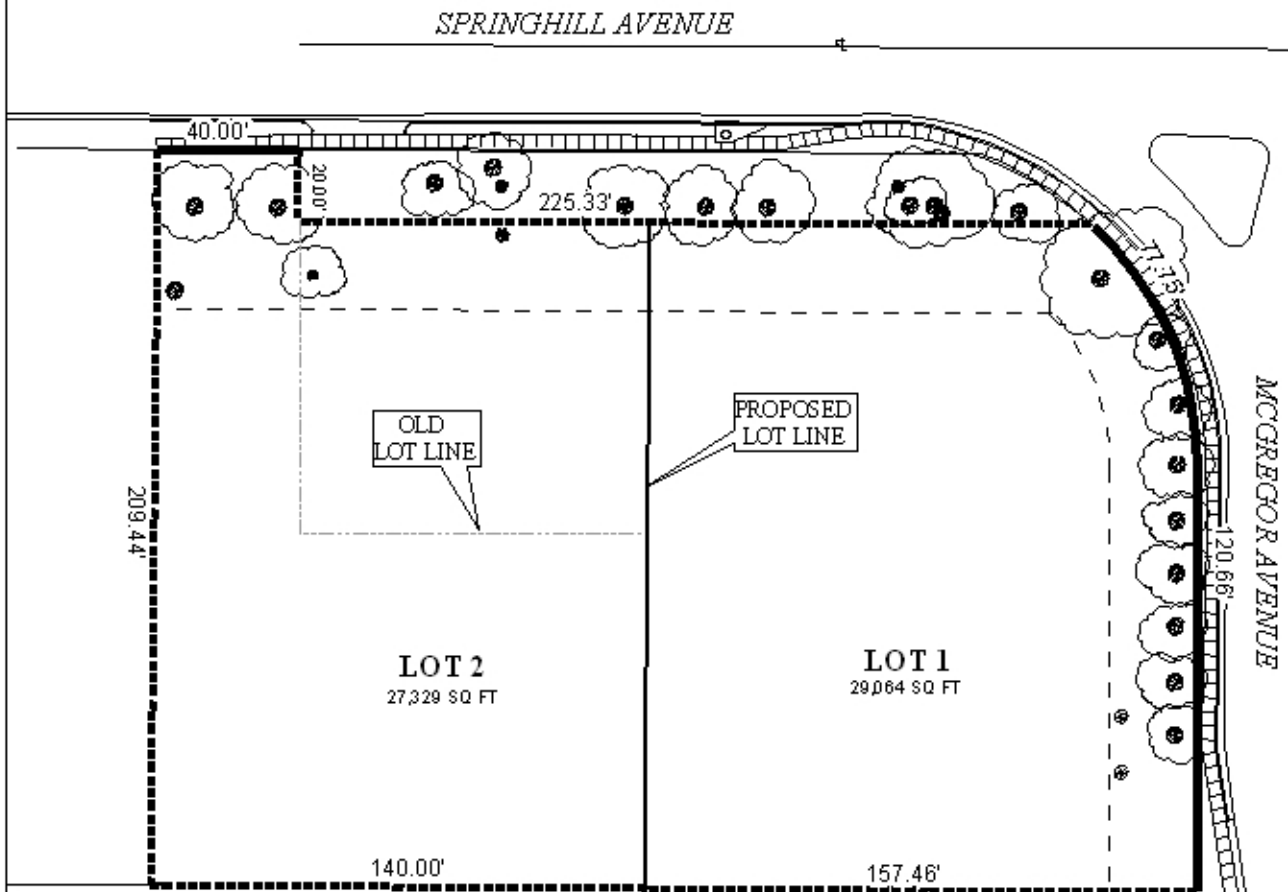
APPLICATION NUMBER 21 & 22 DATE December 18, 2008

APPLICANT Saint Augustine Subdivision, Resubdivision

REQUEST Subdivision



## SUBDIVISION DETAIL



APPLICATION NUMBER 21 & 22 DATE December 18, 2008

APPLICANT Saint Augustine Subdivision, Resubdivision

REQUEST Subdivision, Planned Unit Development

N  
NTS