

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: October 6, 2011****DEVELOPMENT NAME**

Hydrocarbon of Mobile Subdivision

**SUBDIVISION NAME**

Hydrocarbon of Mobile Subdivision

**LOCATION**

North side of Paper Mill Road, 315'+ East of Woodland Avenue North and extending East to Chickasaboug Creek.

**CITY COUNCIL****DISTRICT**

District 2

**AREA OF PROPERTY**

3 Lots /53.0± Acres

**CONTEMPLATED USE**

Planned Unit Development Approval to allow shared access between multiple building sites, and Subdivision approval to create 3 lots.

**TIME SCHEDULE****FOR DEVELOPMENT**

Immediate.

**ENGINEERING****COMMENTS**

Show Minimum Finished Floor Elevation on each lot on Plat. There is to be no fill placed or buildings constructed within the limits of the flood plain without providing compensation or with the approval of a Flood Study or No Rise Certification. The location of wetlands needs to be clearly shown on the plat. Drainage easements required for any structures and/or drainage ways crossing through or across the property that contain runoff from public Rights of Ways. The location, width and alignment of any such required easements shall be coordinated with the City of Mobile Engineering Department. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**REMARKS**

The applicant is seeking Planned Unit Development Approval to allow shared access between multiple building sites, multiple buildings on a single building site and Subdivision approval to create 3 lots from five existing metes and bounds parcels. The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create three lots from five existing metes and bounds parcels, and keep shared access between the proposed lots via an existing access easement.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The three proposed lots, as depicted, meet the minimum size as regulated by the Subdivision Regulations. The lot area sizes are depicted on the plat in square feet, and this should be retained on the Final Plat, if approved. Proposed Lots 1 and 2, from parcel data information seems to be either a private road or an unnamed right-of-way as providing a minimum width of 60-feet. . The proposed Lot 3 does not provide frontage on a public road; however, it does front a 40-foot wide existing access easement as recorded in Probate Court. As these sites are owned by the Alabama State Port Authority and are not subject to subdivision and zoning regulations; however, the Port Authority proposes to sell these properties to private companies to create legal lots of records to complete the sale.

As previously stated, Lots 1 & 2 are undeveloped and illustrate approximately 1,000-foot access via the unnamed public/private road; therefore, should be limited to the three curb cuts each , with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards. Lot 3, which is also currently undeveloped and is proposed to be accessed by an access easement owned by Berg Pipe allowing access to this site by easement recorded on Probate Court, should be limited access by the access easement only.

More of a concern is the unnamed/public/private road off of Paper Mill Road, GIS mapping illustrates as public road for approximately 350-feet from the intersection with Paper Mill Road, then private road; however, who maintains this road is questionable. It seems to be constructed to city standards.

The site is zoned I-2, Heavy Industry District, and the proposed lots are currently undeveloped. The PUD site plan does not indicate parking calculations, parking areas, dumpster locations (if any), trees, fencing, or any landscaping the site. As such, it is impossible to evaluate the PUD request until a proper site plan showing all site improvements and features, as well as parking calculations and parking areas, is submitted.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

The entire site appears to be located within the flood zone as depicted on FEMA maps for the Mobile River and Mobile Bay, and the site may also be subject to hurricane storm surges. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

### **RECOMMENDATION**

**Subdivision:** Based upon the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

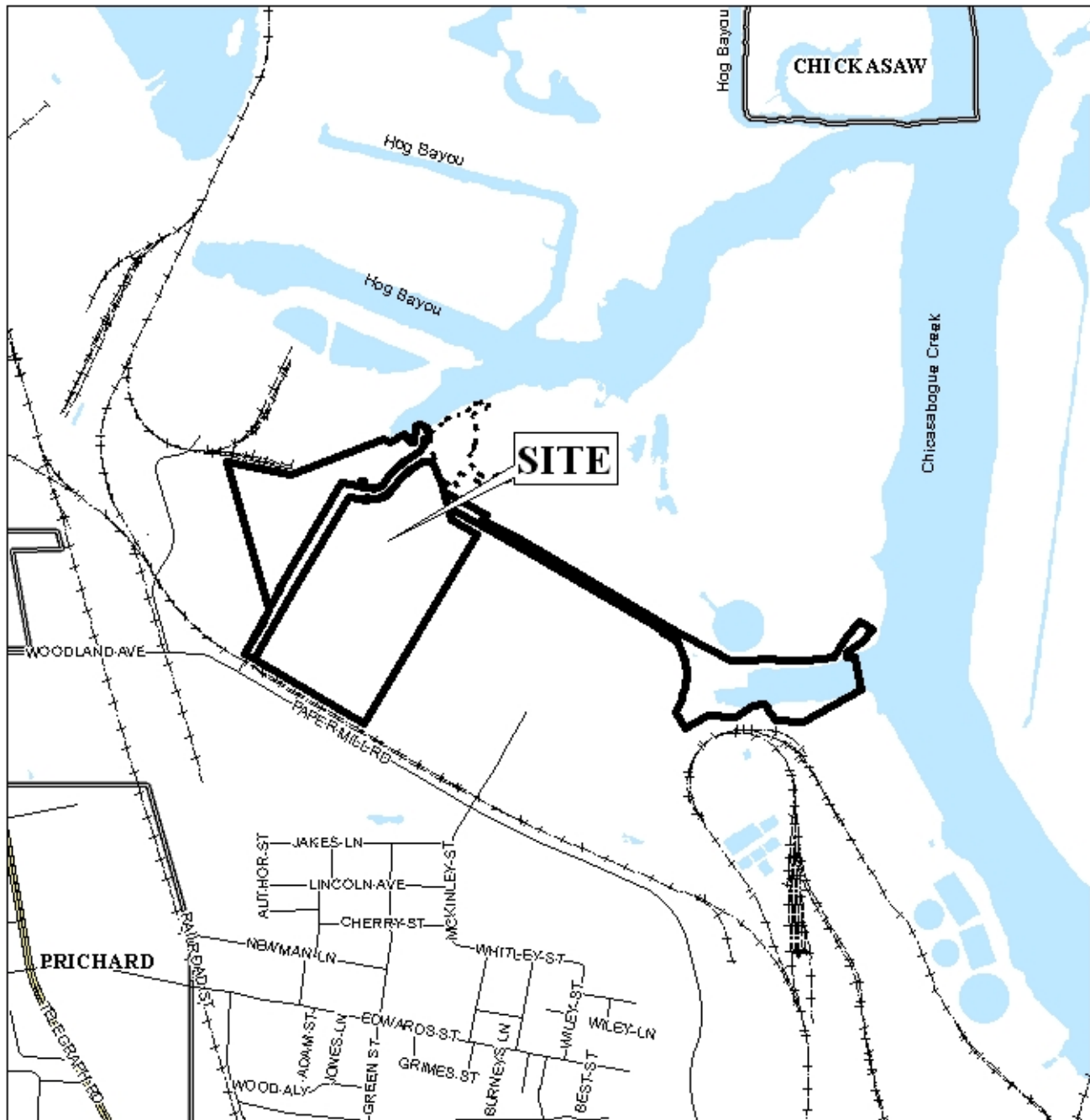
- 1) dedication of the sufficient right-of-way to provide 60-feet of right-of-way for the unnamed/public/private street;
- 2) placement of a note on the Final Plat stating that Lots 1 & 2 are limited to three curb cuts to the unnamed/public/private street, with the size, location and design to be approved Traffic Engineering and conform to AASHTO Standards;
- 3) depiction of the 25' minimum building setback line along all frontages prior to signing the Final Plat;
- 4) placement of a note on the Final Plat stating that approval of all applicable federal, state and local agencies regarding flood zone compliance issues would be required prior to the issuance of any permits;
- 5) labeling of the lots with its sizes in square feet, or the provision a table on the plat with the same information; and
- 6) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

**Planned Unit Development:** Based upon the preceding, this application is recommended for approval, subject to the following conditions:

- 1) submission of a new Planned Unit Development (PUD) application prior to the development of any lots;
- 2) placement of a note on the Final Plat stating that approval of all applicable federal, state and local agencies regarding flood zone compliance issues would be required prior to the issuance of any permits;
- 3) placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;

- 4) the submission of two (2) copies of the revised Planned Unit Development (PUD) site plan illustrating all conditions for recommendation of approval; and
- 5) full compliance with all municipal codes and ordinances.

## LOCATOR MAP



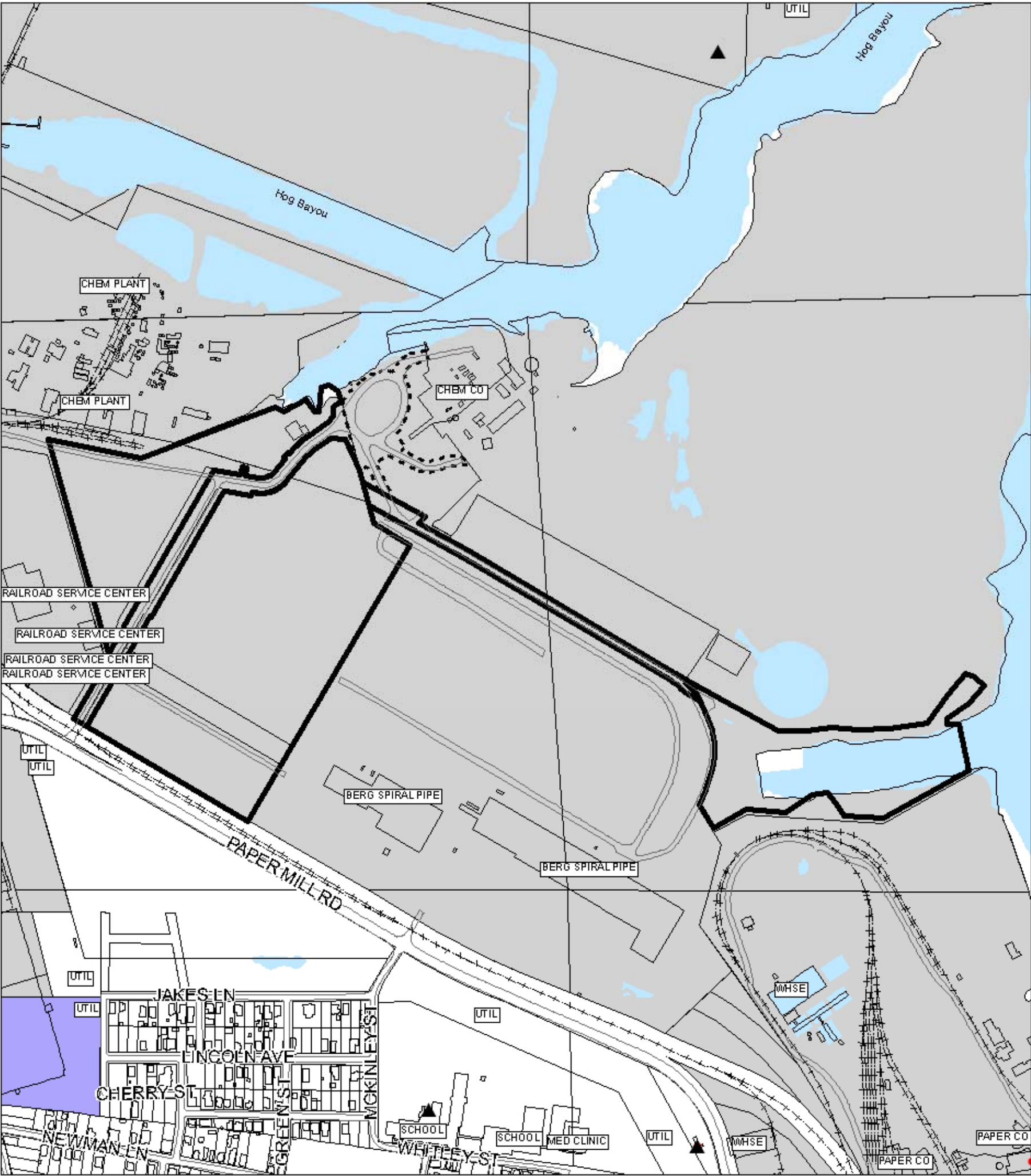
APPLICATION NUMBER 21 & 22 DATE October 6, 2011

APPLICANT Hydrocarbon of Mobile Subdivision

REQUEST Subdivision, Planned Unit Development

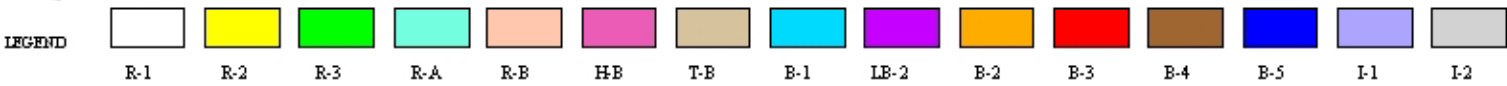


PLANNING COMMISSION  
VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial land use.

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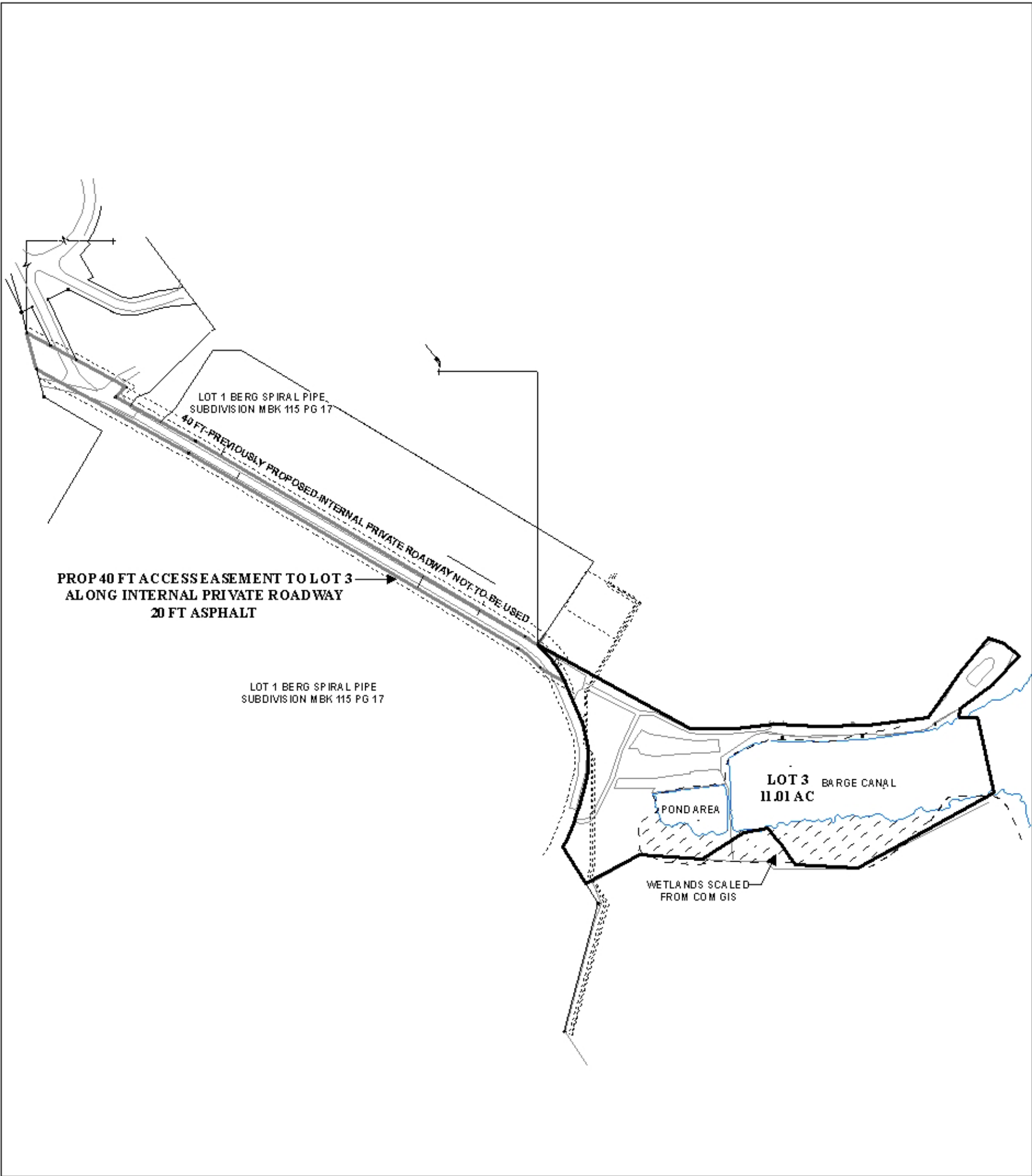


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SITE PLAN



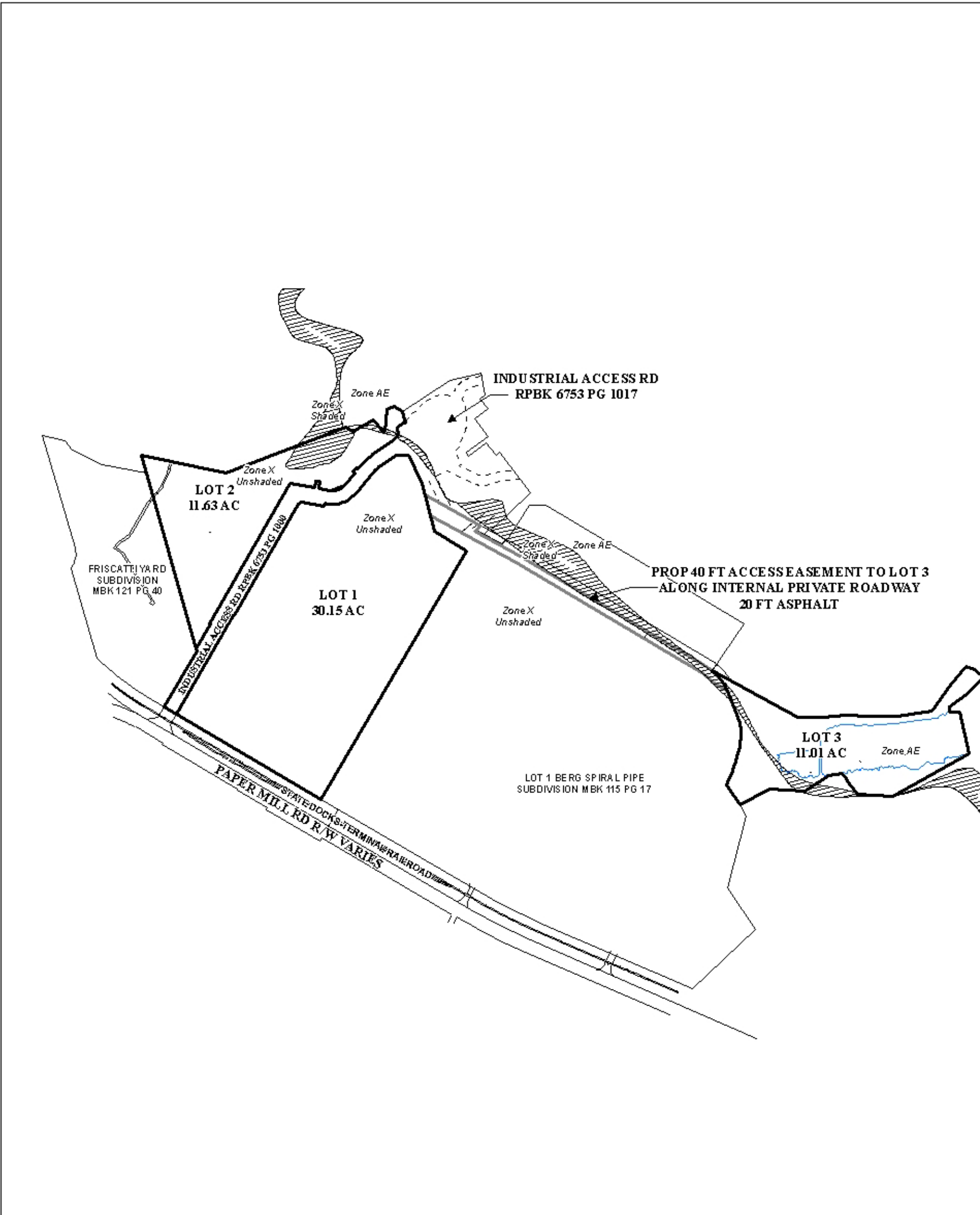
The site plan illustrates the proposed access to the proposed subdivision lot. There is no planned development for the proposed lot.

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N

NTS

DETAIL SITE PLAN



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REQUEST      Subdivision, Planned Unit Development

N  
NTS

