

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: November 6, 2008**

DEVELOPMENT NAME Grant Park Subdivision, Resubdivision of Lots 16 & 17

SUBDIVISION NAME Grant Park Subdivision, Resubdivision of Lots 16 & 17

LOCATION South side of Grant Park Drive, 565'± East of Grant Street

**CITY COUNCIL
DISTRICT** District 5

PRESENT ZONING R-3, Multiple-Family Residential District

AREA OF PROPERTY 1 Lot / 0.4± acre

CONTEMPLATED USE 1-lot, residential subdivision, and Planned Unit Development Approval to amend a previously approved Planned Unit Development Approval to allow reduced lot sizes, reduced building setbacks, and increased site coverage in a residential subdivision.

**TIME SCHEDULE
FOR DEVELOPMENT** Immediately

**ENGINEERING
COMMENTS** Minimum FFE on plans and plat. Must comply with all storm water and flood control ordinances. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS** Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans.

**URBAN FORESTRY
COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS**

No comments.

REMARKS

The applicant is requesting Subdivision approval to create one lot from two existing lots, and Planned Unit Development Approval to amend a previously approved Planned Unit Development Approval to allow reduced lot sizes, reduced building setbacks, and increased site coverage in a residential subdivision.

The site is located in the Grant Street Patio Homes development, a PUD and subdivision that was originally approved by the Planning Commission at its August 7, 2000 meeting. The following conditions were placed on the PUD approval:

- 1) that the maximum site coverage of 45% be maintained for the overall site (less right-of-way) instead of for individual lots;
- 2) common areas to be maintained by the property owners;
- 3) provision of traffic calming devices, as recommended by the Traffic Engineering Department;
- 4) full compliance with all municipal codes and ordinances;
- 5) one over-story tree to be planted within the 25' frontage of each residential lot along the city street;
- 6) developer to obtain services of a licensed Arborist to determine if large (30"±) oak tree near West property line poses a threat; and if so, developer to be responsible for all aspects of removal.

The Subdivision was approved with conditions essentially identical to numbers 1, 2, 5 and 6 listed above.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant desires to amend the existing PUD to allow 45% site coverage on the lot that will be created by the accompanying subdivision, rather than relying on the 45% site coverage for the overall Grant Park development. The existing PUD allows individual sites to have coverage exceeding 45%, if the overall development balances out to an

average of 45% site coverage (some homes may be restricted to less than 45% site coverage to comply with the average site coverage limitation). It should be noted that 45% site coverage is allowed by right in R-3 districts.

The existing PUD allows a 15' front yard setback, 0' East side yard setback, 5' West side yard setback, and an 8' rear yard setback. Like the original PUD and subdivision, these applications contain notes stating that there must be a minimum of 10' between buildings. These setbacks are graphically depicted on the preliminary plat and proposed site plan, however, they should also be noted in writing on the preliminary plat and proposed site plan, to ensure conformance with the existing PUD. The typical lot diagram should be revised to reverse the side yard setbacks to match those of the other developed lots along the South and East sides of Grant Park Drive. The PUD should also be revised to add a note which states that HVAC equipment and emergency generators 3' high or higher must meet the yard setback requirements.

The applicant also proposes to combine two existing lots into one 15,742 square-foot lot. Lot widths within the subdivision vary, thus the proposed lot would not be inconsistent or incompatible with the remaining lots. It should be noted that the proposed PUD site coverage amendment for this new lot would allow development with a total ground floor area of 7,084 square feet. As in the PUD, the typical lot diagram should be revised to reverse the side yard setbacks to match those of the other developed lots along the South and East sides of Grant Park Drive, and a note should be added which states that HVAC equipment and emergency generators 3' high or higher must meet the yard setback requirements.

The requirement for one over-story tree to be planted within the 25' frontage of each residential lot along the city street should be modified for this site, as it will combine two existing lots into one lot, and to ensure consistency with the remainder of the PUD. It is recommended that the new requirement for this site be that two over-story trees be planted within the 25-foot frontage of the lot along Grant Park Drive.

Two copies of the revised PUD site plan should be submitted to the Planning Section of Urban Development prior to the signing of any Subdivision plat.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

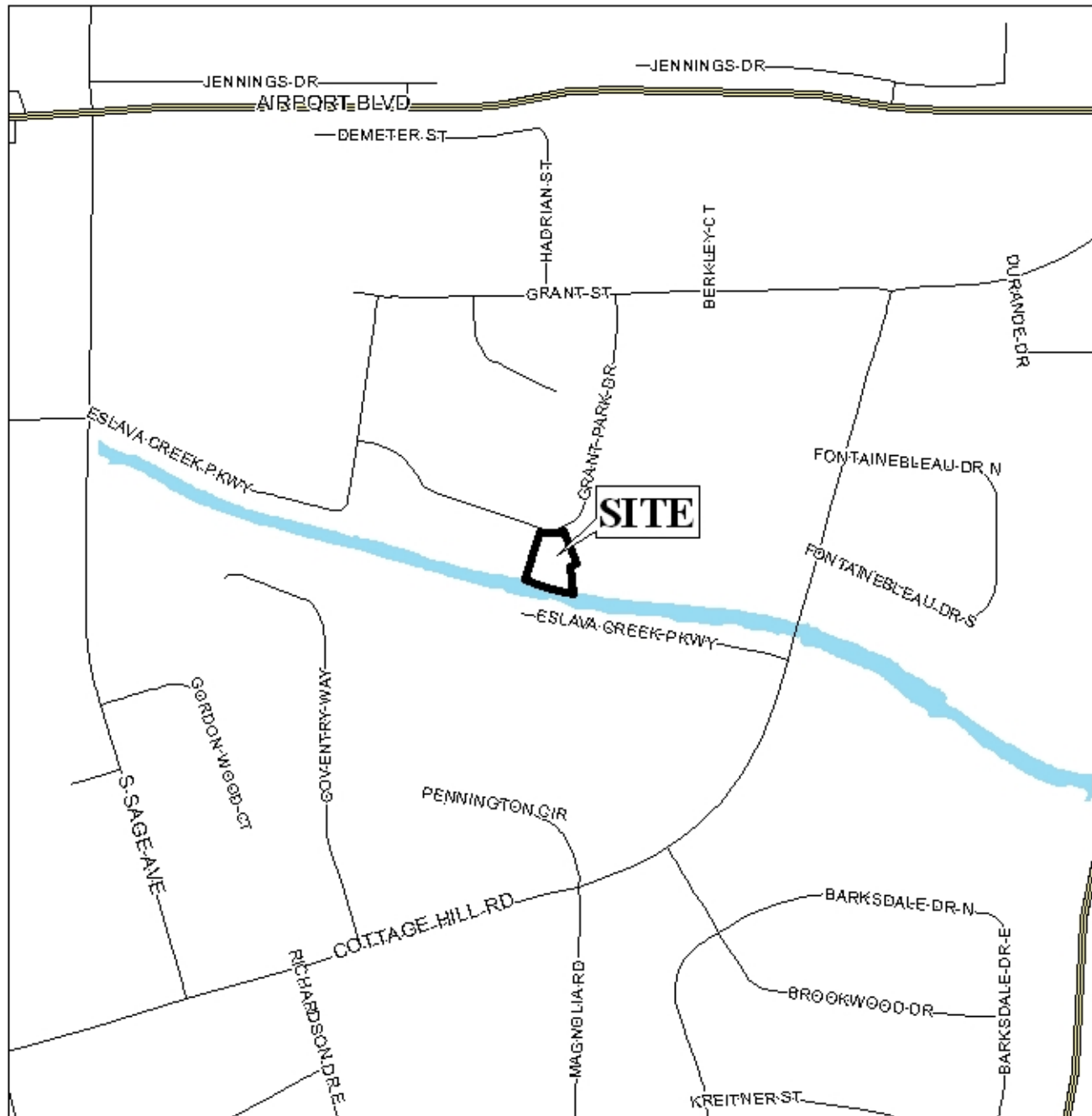
- 1) completion of the Subdivision process;
- 2) placement of a note on the site plan specifying the front, side and rear yard setbacks;
- 3) placement of a note on the site plan stating that the site is limited to a maximum 45% total site coverage, subject to verification by the Engineering Department that existing stormwater facilities are adequate for the increase;

- 4) revision of the typical lot diagram to reverse the side yard setbacks to conform to other developed lots on the South and East sides of Grant Park Drive;
- 5) placement of a note on the site plan stating that HVAC equipment and emergency generators 3' high or higher must meet setback requirements;
- 6) placement of a note on the site plan stating that common areas are to be maintained by the property owners;
- 7) placement of a note on the site plan stating that two over-story trees are to be planted within the 25' frontage of the lot along Grant Park Drive;
- 8) provision of two (2) revised PUD site plans to the Planning Section of Urban Development prior to the signing of any Subdivision plat;
- 9) full compliance with all other municipal codes and ordinances; and
- 10) subject to the Engineering Comments: *(Minimum FFE on plans and plat. Must comply with all storm water and flood control ordinances. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit).*

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) provision of two (2) revised PUD site plans to the Planning Section of Urban Development prior to the signing of the Subdivision plat;
- 2) placement of a note on the plat specifying the front, side and rear yard setbacks;
- 3) placement of a note on the plat stating that the lot is limited to a maximum 45% total site coverage, subject to verification by the Engineering Department that existing stormwater facilities are adequate for the increase;
- 4) revision of the typical lot diagram to reverse the side yard setbacks to conform to other developed lots on the South and East sides of Grant Park Drive;
- 5) placement of a note on the plat stating that HVAC equipment and emergency generators 3' high or higher must meet setback requirements;
- 6) placement of a note on the plat stating that common areas are to be maintained by the property owners;
- 7) placement of a note on the final plat stating that two over-story trees are to be planted within the 25' frontage of the lot along Grant Park Drive;
- 8) full compliance with all other municipal codes and ordinances; and
- 9) subject to the Engineering Comments: *(Minimum FFE on plans and plat. Must comply with all storm water and flood control ordinances. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit).*

LOCATOR MAP



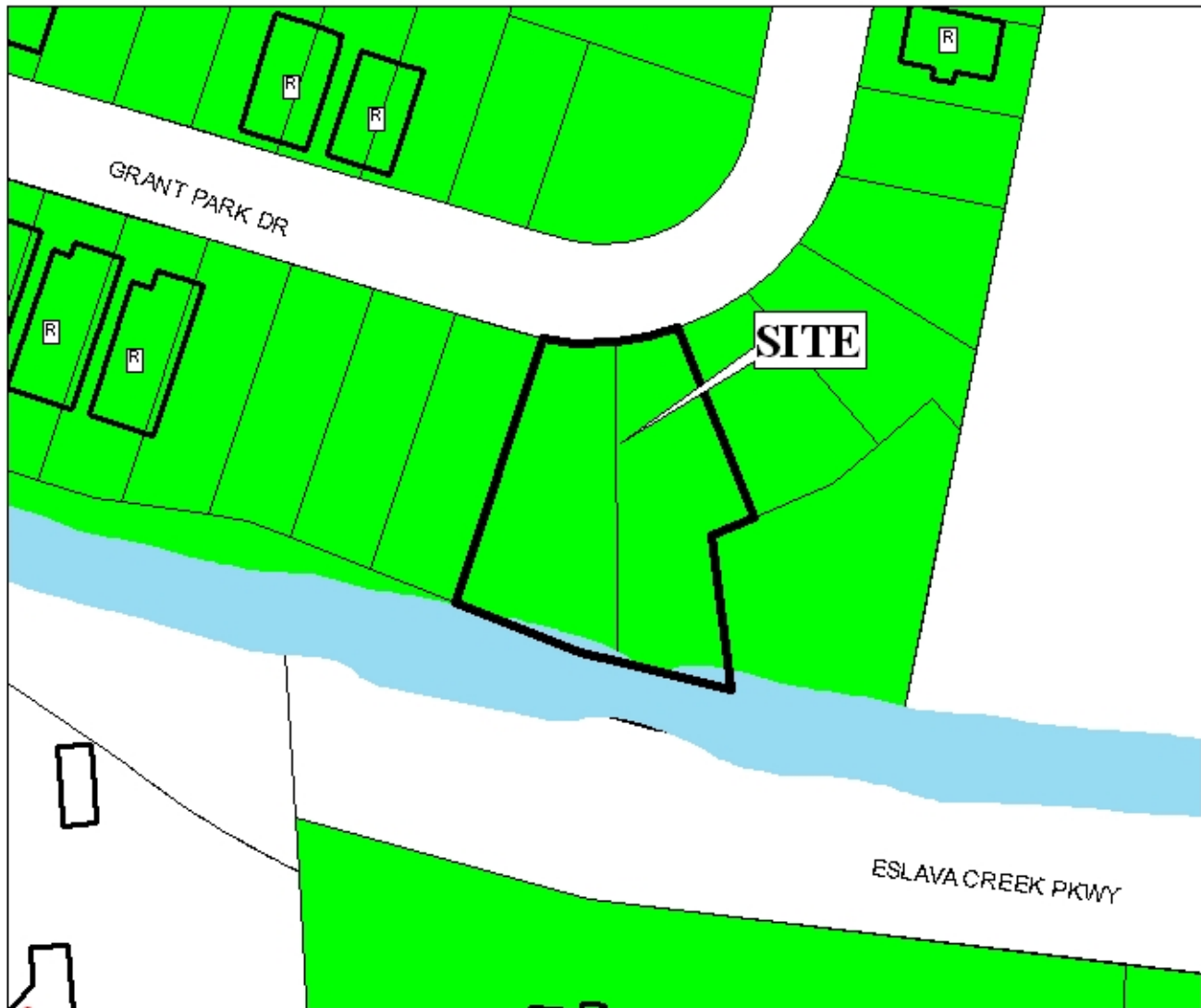
APPLICATION NUMBER 21 & 22 DATE November 6, 2008

APPLICANT Grant Park Subdivision, Resubdivision of Lots 16 & 17

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by residential land use.

APPLICATION NUMBER 21 & 22 DATE November 6, 2008

APPLICANT Grant Park Subdivision, Resubdivision of Lots 16 & 17

REQUEST Subdivision, Planned Unit Development

LEGEND

R-1

R-2

R-3

R-4

R-B

H-B

T-B

B-1

LB-2

B-2

B-3

B-4

B-5

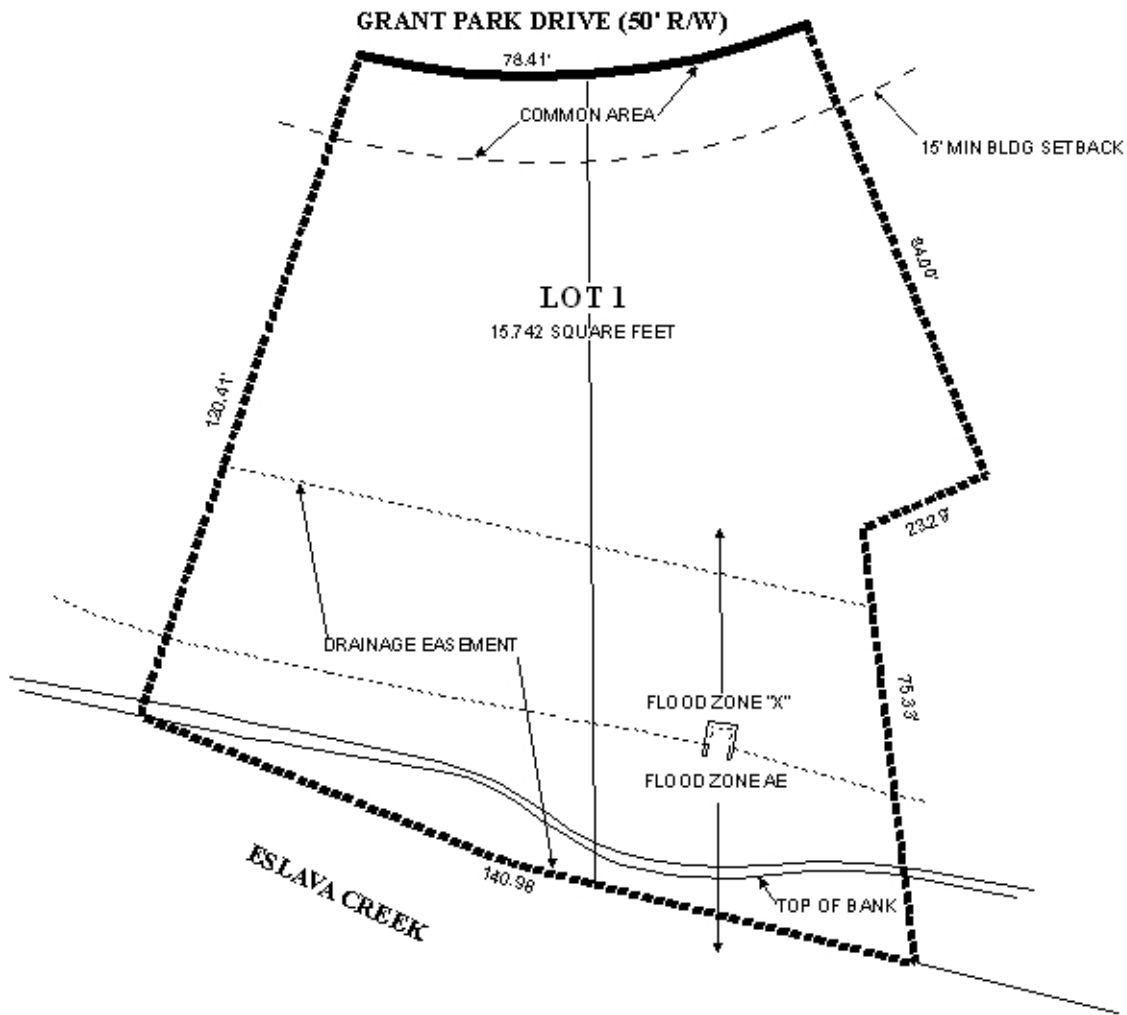
I-1

I-2

NTS



SITE PLAN



This site plan illustrates proposed lot configuration.

APPLICATION NUMBER 21 & 22 DATE November 6, 2008

APPLICANT Grant Park Subdivision, Resubdivision of Lots 16 & 17

REQUEST Subdivision, Planned Unit Development

N
NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by residential land use.

APPLICATION NUMBER 21 & 22 DATE November 6, 2008

APPLICANT Grant Park Subdivision, Resubdivision of Lots 16 & 17

REQUEST Subdivision, Planned Unit Development

N
NTS