

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: July 5, 2012****DEVELOPMENT NAME** Dawson Estates Subdivision, Re-subdivision of Lot 1**SUBDIVISION NAME** Dawson Estates Subdivision, Re-subdivision of Lot 1**LOCATION** North terminus of Dawson Drive**CITY COUNCIL  
DISTRICT** District 4**AREA OF PROPERTY** 1 Lot / 0.4 ± acres**CONTEMPLATED USE** Planned Unit Development Approval to allow reduced front yard setbacks, and Subdivision approval to create 1 lot.**TIME SCHEDULE  
FOR DEVELOPMENT** Not provided.**ENGINEERING****COMMENTS** 1. On the plat, show the location (if any) of wetlands or state that there are no wetlands present if applicable. 2. Provide all other information required for a Final Plat review.**TRAFFIC ENGINEERING****COMMENTS** Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.**URBAN FORESTRY****COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).**FIRE DEPARTMENT****COMMENTS** All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.**REMARKS**

The applicant is seeking Planned Unit Development Approval to allow reduced front yard setbacks, and Subdivision approval to create 1 lot. The site is located in Council District 4, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to reduce the front yard setback of an existing lot, to allow a new home to be built closer to the street, and further away from the adjacent Rattlesnake Bayou. The applicant proposes to construct one single-family house.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The lot in question was created as part of a 5-lot subdivision approved by the Planning Commission at its September 15, 2005 meeting. Later, the lot was part of a combined 8-lot Subdivision and Planned Unit Development application in 2006 that was denied by the Planning Commission at its October 6, 2006 meeting. The denial was based upon the fact that the proposal would increase the number of lots and reduce setbacks over the previously approved 5 lots in an AE floodzone.

The site is zoned R-1, Single Family Residential District, thus the single-family use is allowed by right. Furthermore, this district allows up to 35% site coverage and a 25-foot front yard setback and eight-foot side and rear yard setbacks. The only change to the standard allowances is to reduce the 25-foot front yard setback to 20-feet, to allow the proposed house to be built further away from the adjacent bayou, and to have 10-foot side and rear yard setbacks.

A house was built on a lot immediately to the West of the site in 2008, meeting all required setbacks, therefore, it could be presented that no adjustment in the standard setbacks is necessary. The site, just like all other lots on Dawson Drive, is located in an AE floodzone associated with Alligator Bayou: a reduction in the front yard setback might gain a few inches of increased elevation and distance, but perhaps not enough to justify a deviation from standard requirements. Due to the fact that the site is located at the terminus of Dawson Drive, however, the impact of a 5-foot reduction in the front setback area will be minimal to other existing residences, and should not impact the operation of the existing cul-de-sac.

The site plan does not indicate any driveway or parking area. The Zoning Ordinance requires that at least two parking spaces be provided for a single-family residence, and that they not be located within the required front setback. The site plan should be revised to depict a driveway

and parking area. It should be noted that since the site has limited frontage on a cul-de-sac, it should be limited to one curb-cut, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

The site plan also does not depict any equipment associated with air conditioning units. Typically the condensers are located outside, and in floodzones, the equipment must be elevated. The site plan should be revised to depict any exterior HVAC equipment, generators, etc., that might be prone to location in required setbacks: any ancillary equipment greater than 3-feet in height cannot be located within a required front, side or rear yard setback.

If the front setback is reduced to 20-feet, as requested, a corresponding increase in the rear yard setback might be appropriate. The site plan submitted depicts side and rear yard setbacks of 10 feet. The applicant may wish to provide a 15-foot rear yard setback in order to discourage any construction near the water.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

The entire site appears to be located within the "AE" frequency flood zone as depicted on FEMA maps for Alligator Bayou, and the site may also be subject to hurricane storm surges. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

## **RECOMMENDATION**

**Subdivision:** Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

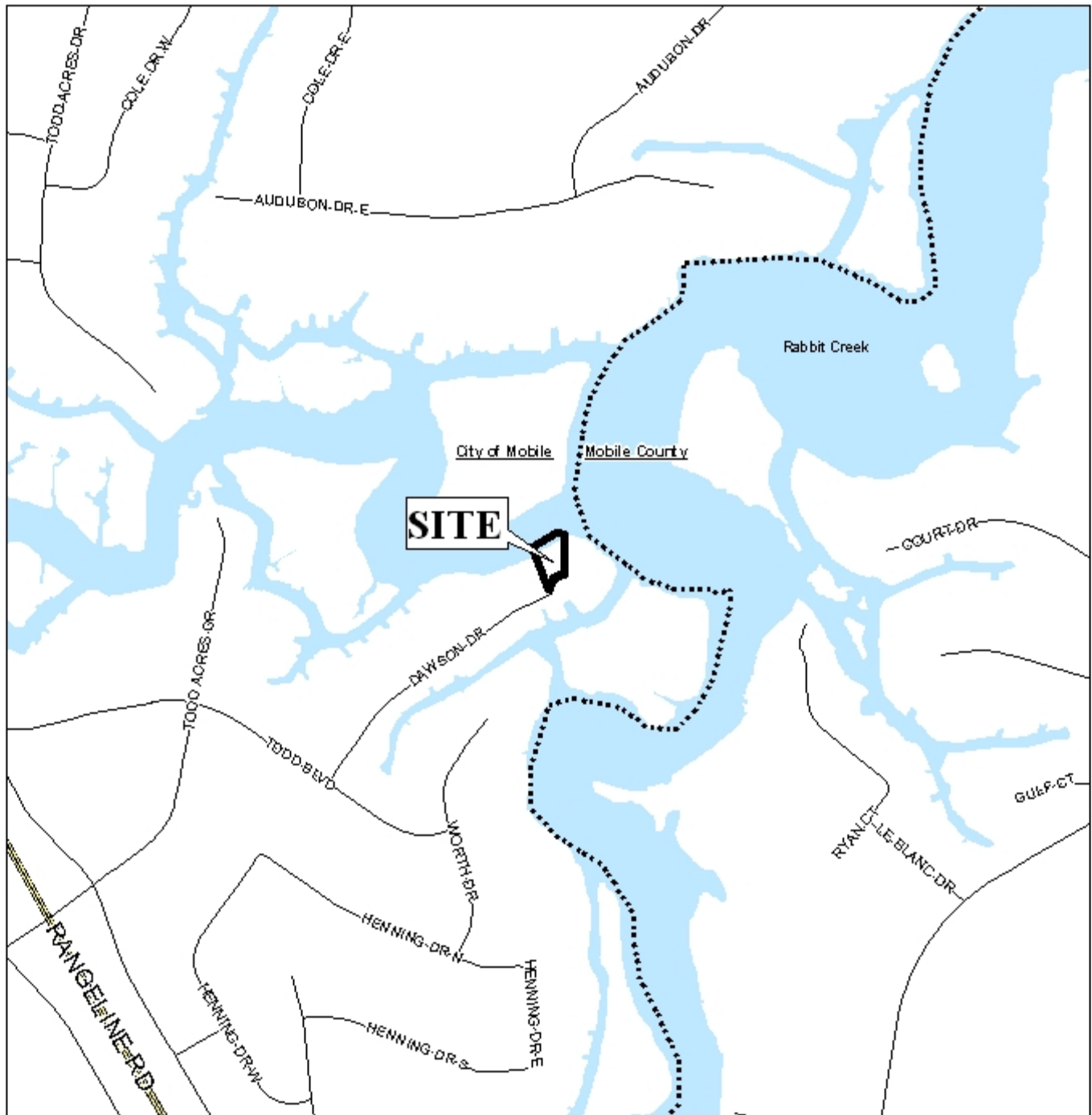
- 1) Compliance with Engineering comments (*1. On the plat, show the location (if any) of wetlands or state that there are no wetlands present if applicable. 2. Provide all other information required for a Final Plat review.*);
- 2) Placement of a note on the final plat that the lot is limited to one (1) curb-cut, with the size, design and location to be approved by Traffic Engineering and to conform with AASHTO standards;
- 3) Depiction and labeling of the 20-foot minimum building setback line on the final plat;
- 4) Labeling of the lot size in square feet on the final plat;
- 5) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) Placement of a note on the final plat stating that the approval of all applicable federal, state and local agencies is required for floodplain issues prior to the issuance of any permits or land disturbance activities;

- 7) Compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile*);
- 8) Submission of a revised PUD site plan prior to the signing of the final plat; and
- 9) Recording of the final plat prior to any request for permits.

**Planned Unit Development:** Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) Revision of the site plan to depict and label a front setback of 20 feet, side yard setbacks of 10 feet each, a rear yard setback of 15 feet, and a maximum site coverage of 29%;
- 2) Compliance with Engineering comments (*1. On the plat, show the location (if any) of wetlands or state that there are no wetlands present if applicable. 2. Provide all other information required for a Final Plat review.*);
- 3) Placement of a note on the site plan that the lot is limited to one (1) curb-cut, with the size, design and location to be approved by Traffic Engineering and to conform with AASHTO standards
- 4) Revision of the site plan to depict parking for two vehicles outside of the front setback area, as well as any driveway (noting that the lot is limited to one curb-cut);
- 5) Revision of the site plan to depict any HVAC, generators or similar items that will be placed on site, to ensure that they meet all required setbacks;
- 6) Labeling of the lot size in square feet on the site plan;
- 7) Placement of a note on the site plan stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 8) Placement of a note on the site plan stating that the approval of all applicable federal, state and local agencies is required for floodplain issues prior to the issuance of any permits or land disturbance activities;
- 9) Compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile*); and
- 10) Submission of a revised PUD site plan prior to the signing of the final plat.

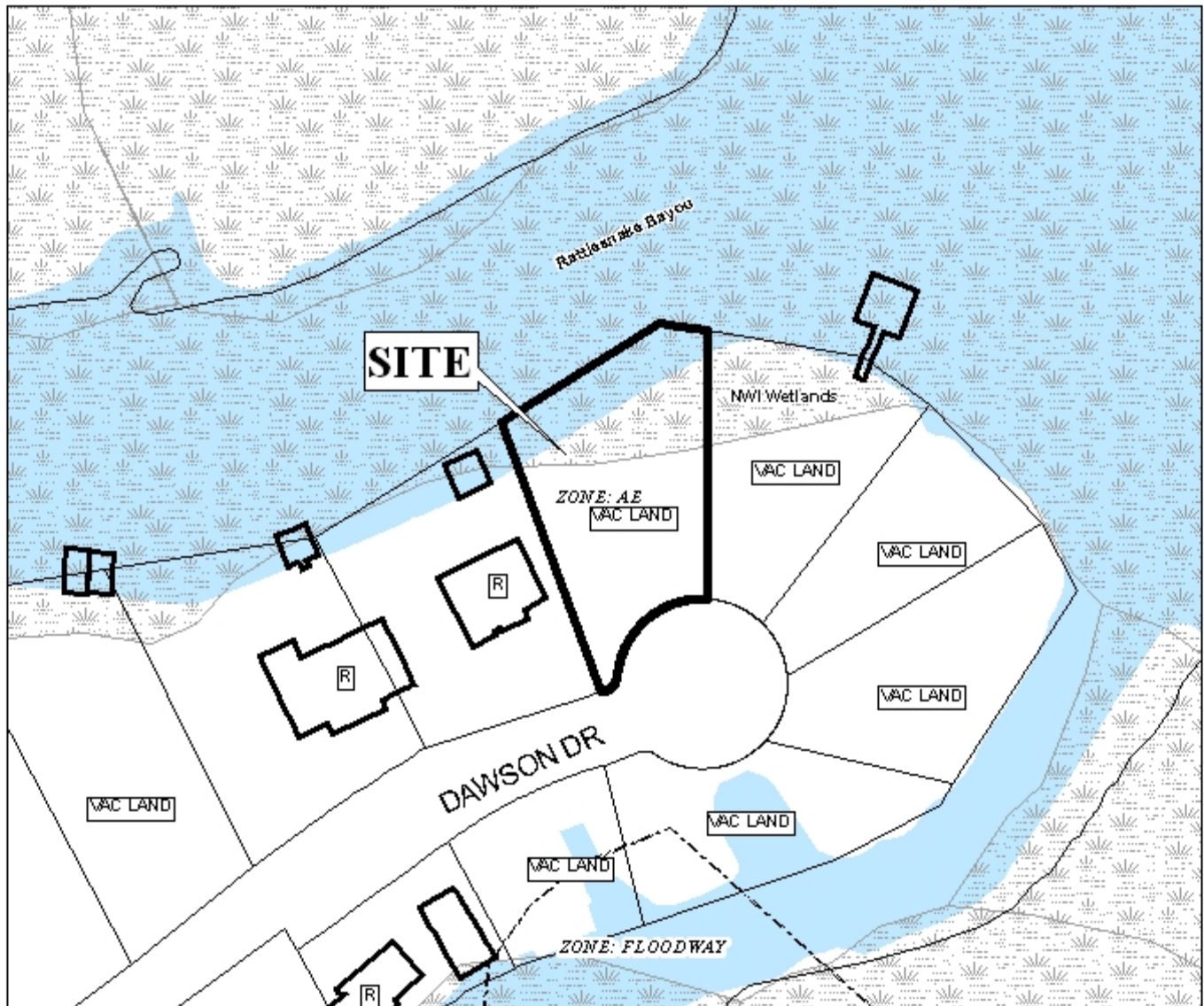
## LOCATOR MAP



APPLICATION NUMBER 21 & 22 DATE July 5, 2012  
APPLICANT Dawson Estates Subdivision, Resubdivision of Lot 1  
REQUEST Subdivision, Planned Unit Development

N  
NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family residences and undeveloped lots.

APPLICATION NUMBER 21 & 22 DATE July 5, 2012

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LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

N  
NTS



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

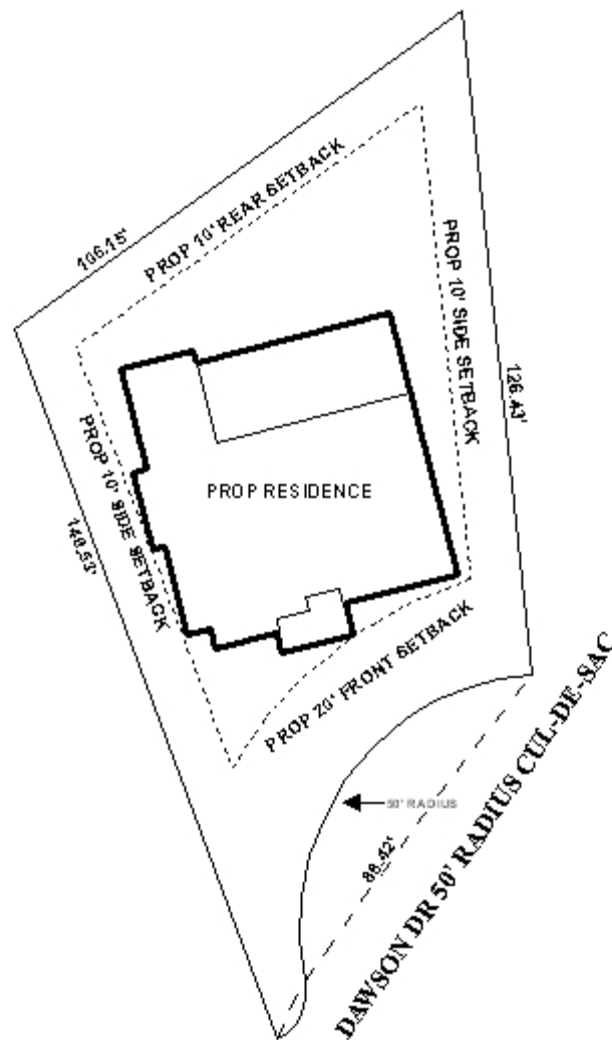


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# SITE PLAN



The site plan illustrates the proposed residence and setbacks.

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N  
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