

SPRINGHILL COMMERCIAL PARK SUBDIVISION, **UNIT THREE, RESUBDIVISION OF**

Engineering Comments: All storm drainage must tie to City storm drainage system or release agreement required to be concentrated onto adjacent property owner. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water & Sewer System Comments: No comments.

The plat illustrates the proposed 6.4± acres, two lot subdivision, which is located on the East side of Springhill Memorial Drive West, extending from Springhill Memorial Drive North to Springhill Memorial Drive South, in city council district 5. The subdivision is served by city water and sanitary facilities.

The purpose of this application is to resubdivide an existing lot of record and a metes and bounds portion of a previously resubdivided lot of record into two lots of record.

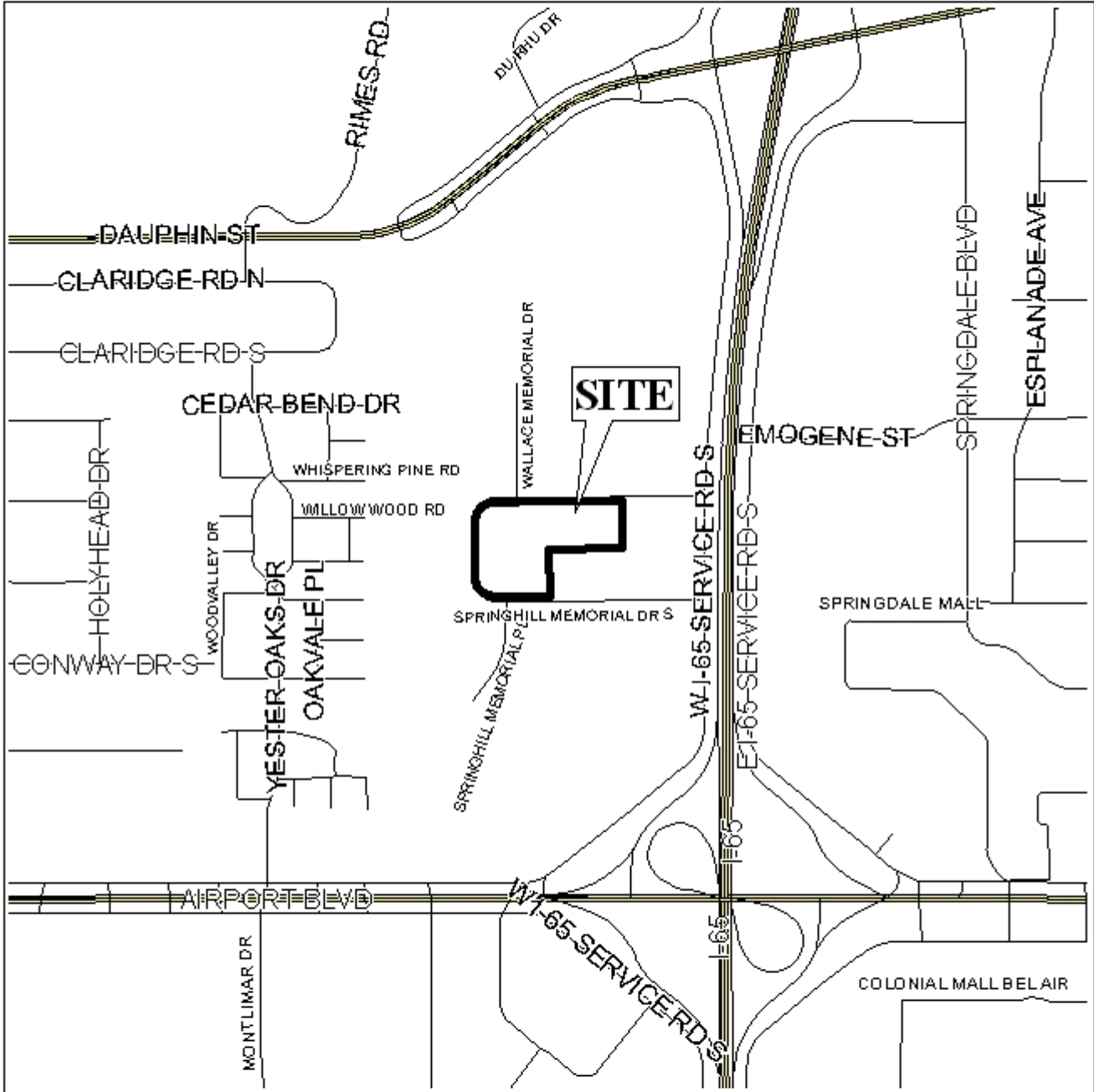
The site fronts Springhill Memorial Drive North, Springhill Memorial Drive West, and Springhill Memorial Drive South, all with adequate 50' rights-of-way. Lot A would have frontage on Springhill Memorial Drive North only, and should be limited to two curb cuts, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standard. Lot B would have frontage on all three streets; as a means of access management, Lot B should be limited to two curb cuts to each street, subject to the same Traffic Engineering approvals as Lot A. The plat did not illustrate a minimum building setback line; therefore, a 25' minimum building setback line should be illustrated along all street frontages.

The proposed lots are not labeled with their size in square feet; therefore, the lots should be labeled with their size in square feet, or a table should be provided on the final plat indicating the same information.

Based on the preceding, the plat meets the requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that Lot A is limited to two curb cuts to Springhill Memorial Drive North, with the size, location, and design of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) placement of a note on the final plat stating that Lot B is limited to two curb cuts to each Springhill Memorial Drive North, Springhill Memorial Drive West, and Springhill Memorial Drive South, with the size, location, and design of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) illustration of a 25' minimum building setback line along all street frontages;
- 4) labeling of each lot with its size in square feet, or the provision of a table on the final plat with the same information;
- 5) full compliance with all municipal codes and ordinances; and
- 6) subject to the Engineering Comments (*All storm drainage must tie to City storm drainage system or release agreement required to be concentrated onto adjacent property owner. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*)

LOCATOR MAP



APPLICATION NUMBER 20 DATE November 15, 2007

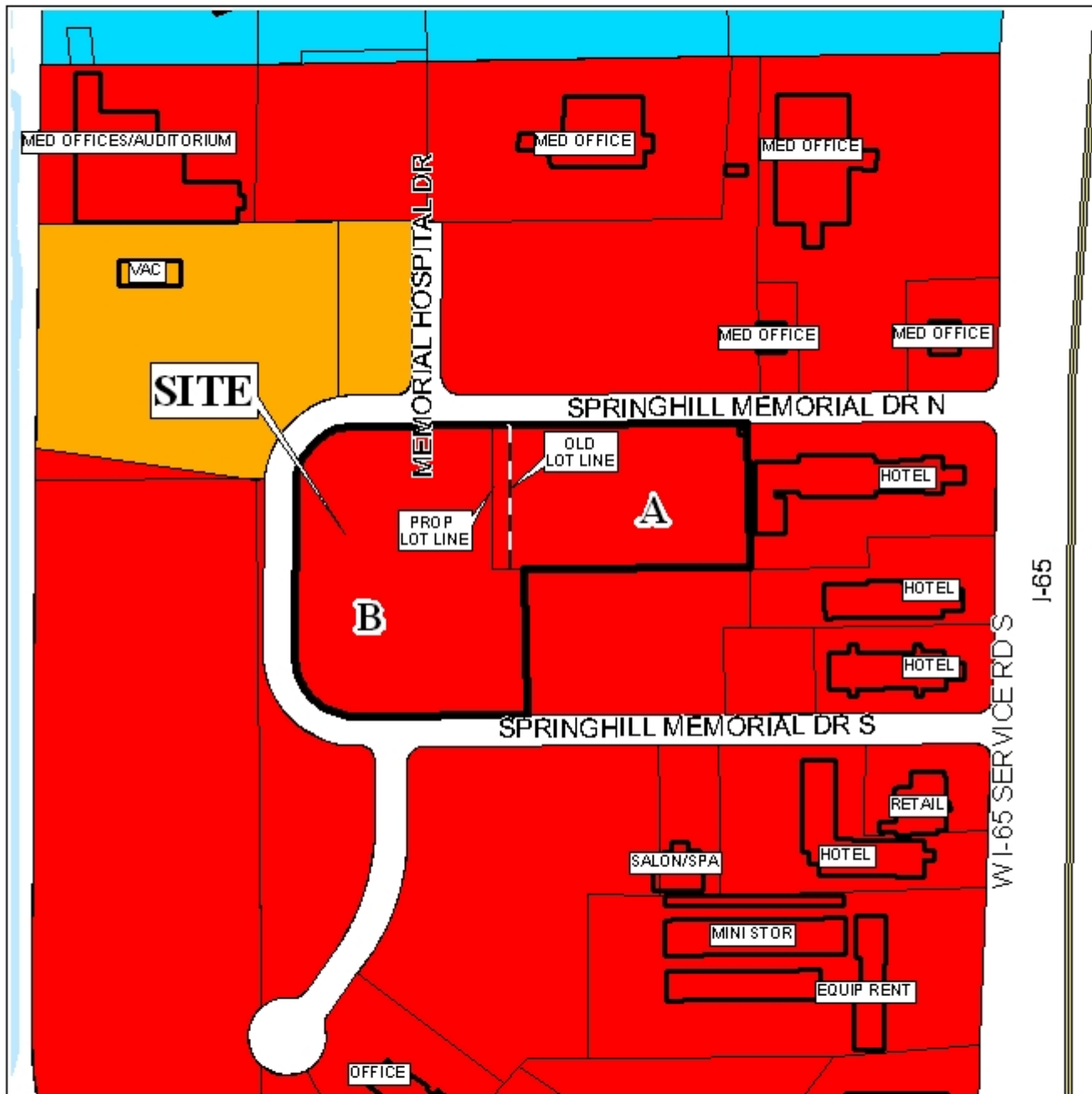
APPLICANT Springhill Commercial Park Subdivision, Unit Three, Resubdivision of

REQUEST Subdivision



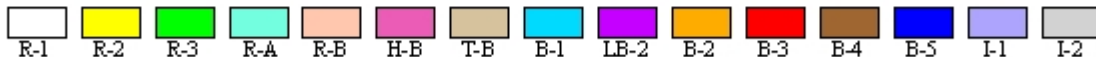
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LEGEND



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