

**ZONING AMENDMENT &  
SUBDIVISION STAFF REPORT****Date: March 5, 2015****APPLICANT NAME**

Kleban Shed, LLC

**SUBDIVISION NAME**

Shed Development Subdivision, Resubdivision of Lot 2

**LOCATION**5753 Old Shell Road  
(Southeast corner of Old Shell Road and Long Street)**CITY COUNCIL  
DISTRICT**

District 6

**PRESENT ZONING**

B-2, Neighborhood Business District

**PROPOSED ZONING**B-2, Neighborhood Business District, and  
B-3, Community Business District**AREA OF PROPERTY**

2 Lots / 4.5± Acres

**CONTEMPLATED USE**

Rezoning from B-2, Neighborhood Business District, to B-2, Neighborhood Business District, and B-3, Community Business District, to allow a hotel and Subdivision approval to create two legal lots of record.

**It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.****REASON FOR  
REZONING**

To allow a hotel.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Not specified.

**ENGINEERING  
COMMENTS****Subdivision:** The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- B. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

**Rezoning**      No comments

## **TRAFFIC ENGINEERING**

### **COMMENTS**

Prior to the issuance of any land disturbance permits for a proposed hotel, a traffic impact study will be required to be submitted and approved by Traffic Engineering. Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements (if any) identified in the study. The overall site is limited to two curb cuts to Old Shell Road, and five curb cuts to Long Street, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any driveway permits for Long Street are contingent upon improvements to the roadway as needed to meet city standards. Any driveway permits for Old Shell Road are contingent upon the closure of the mid-block median cut adjacent to the site. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

## **REMARKS**

The applicant is requesting Rezoning from B-2, Neighborhood Business District, to B-2, Neighborhood Business District, and B-3, Community Business District, to allow a hotel and Subdivision approval to create two legal lots of record.

This site most recently appeared before the Planning Commission at its January 15, 2015 meeting where the Commission approved a 2-lot subdivision request. The plat has been recorded since that time; however, it appears the applicant did not properly notify all adjacent property owners. As such, the Final Plat should be considered null and void. Therefore, it is recommended the applicant amend the current request to contain a total of 3 lots, to include a complete list of current adjacent property owners and associated labels, postage and lot fees.

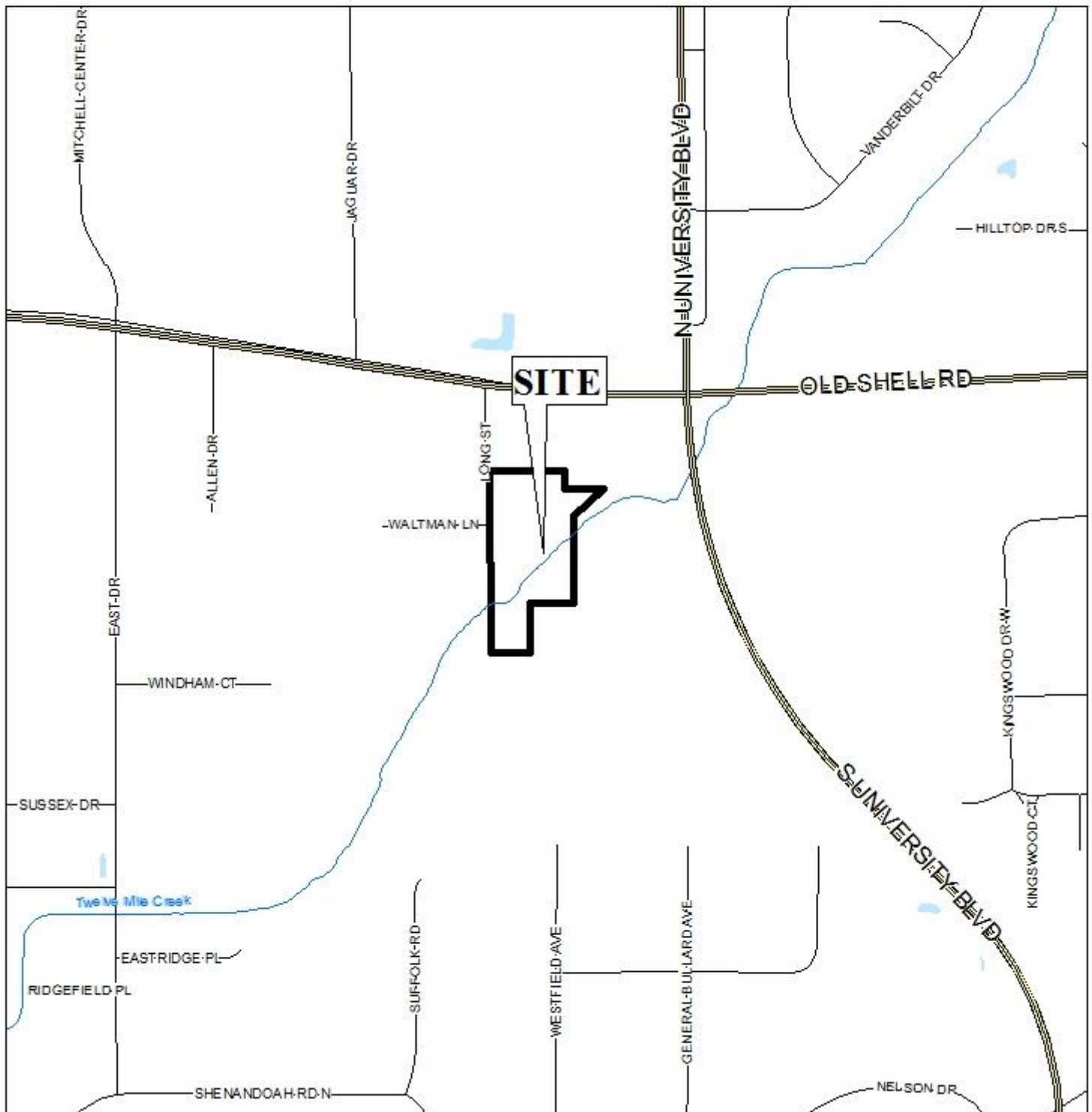
## **RECOMMENDATION**

**Subdivision:** Recommended that this application be heldover to the meeting of April 2<sup>nd</sup> with revisions due by March 9<sup>th</sup> to allow the applicant to address the following:

- 1) Revision of the current request to contain a total of 3 lots, to include a complete list of current adjacent property owners and associated labels, postage and lot fees.

**Rezoning** Recommended that this application be heldover to the meeting of April 2<sup>nd</sup> with revisions due by March 9<sup>th</sup> to allow the application to coincide with the timetable of the Subdivision request.

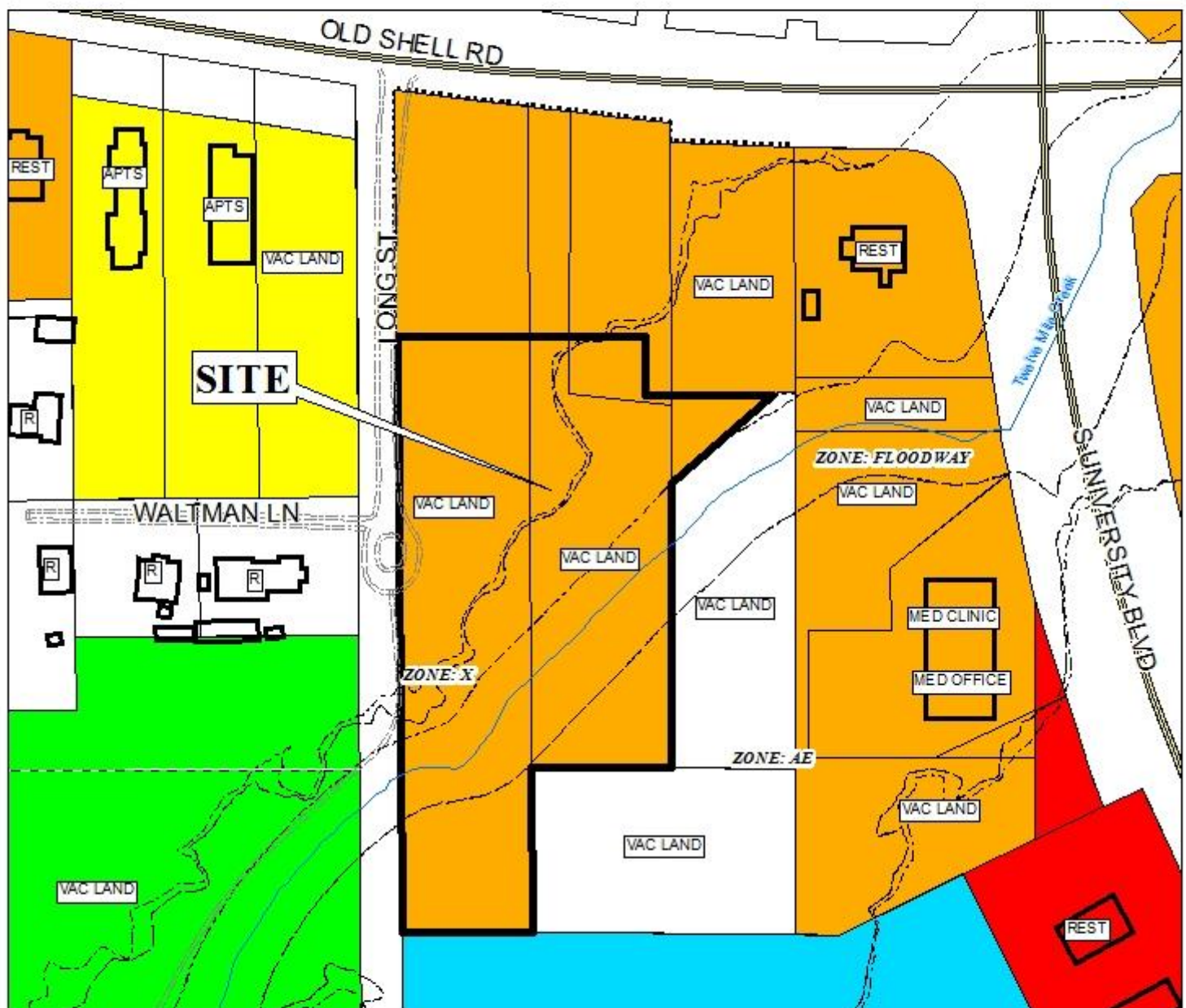
# LOCATOR MAP



APPLICATION NUMBER 20 DATE March 5, 2015  
APPLICANT Shed Development Subdivision, Resubdivision of Lot 2  
REQUEST Subdivision, Rezoning from B-2 to B-2 and B-3



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the west, and commercial units to the east.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

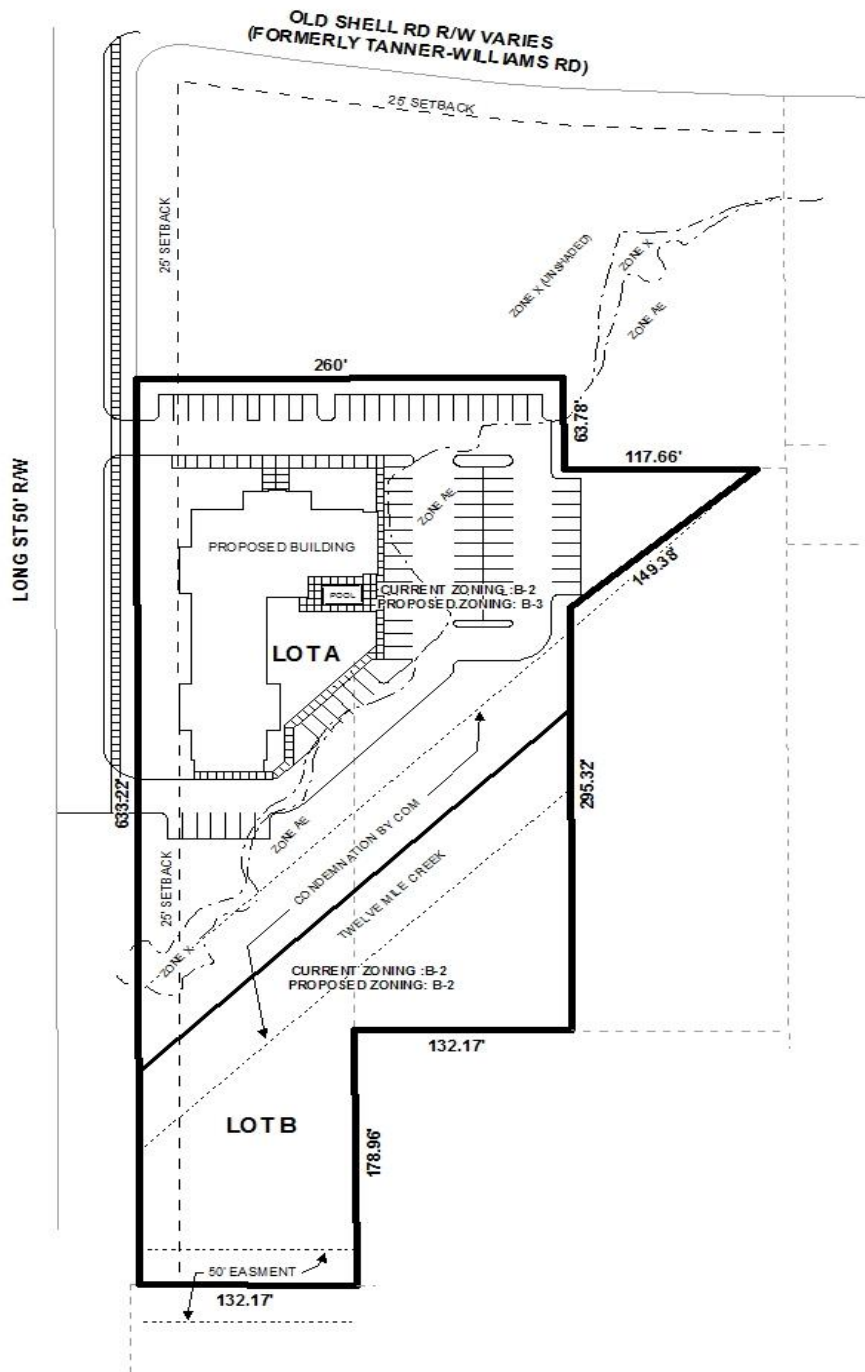


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# SITE PLAN



The site illustrates the proposed lots, proposed zoning changes, proposed building, and easements and setback.

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