

**SIDEWALK WAIVER REQUEST  
STAFF REPORT****Date: JULY 5, 2007****NAME**

Scott Hudson

**LOCATION**

West side of Azalea Road, 100'± South of Airport Boulevard.

**PRESENT ZONING**

B-2, Neighborhood Business District

**ENGINEERING****COMMENTS**

Based on the cross section provided, it is impossible to construct the standard sidewalk without adversely affecting the existing tree to be saved; therefore, the sidewalk waiver should be approved.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Installation of the sidewalk will have a negative impact to the existing Live Oak Tree located on the right of way.

**REMARKS**

The applicant is requesting the waiver of the construction of a sidewalk along Azalea Road.

The subject site recently received Administrative Planned Unit Development Approval with a sidewalk shown on the site plan. This request is based on the location of an existing heritage tree in the area where the sidewalk would normally be placed. The applicant states that a sidewalk along Azalea Road would require the removal of the tree and that placement of the sidewalk closer to the roadway will make it too steep or will remove the tree's root system. It is further stated that there is an existing drop inlet flume in the Southeast corner of the property which the sidewalk cannot cross which splits the property line.

Comments from Urban Forestry and City Engineering concur with the applicant's basis that the sidewalk is not constructible.

**RECOMMENDATION**

Based upon the preceding, this application for waiver of the sidewalk is recommended for Approval.

# LOCATOR MAP



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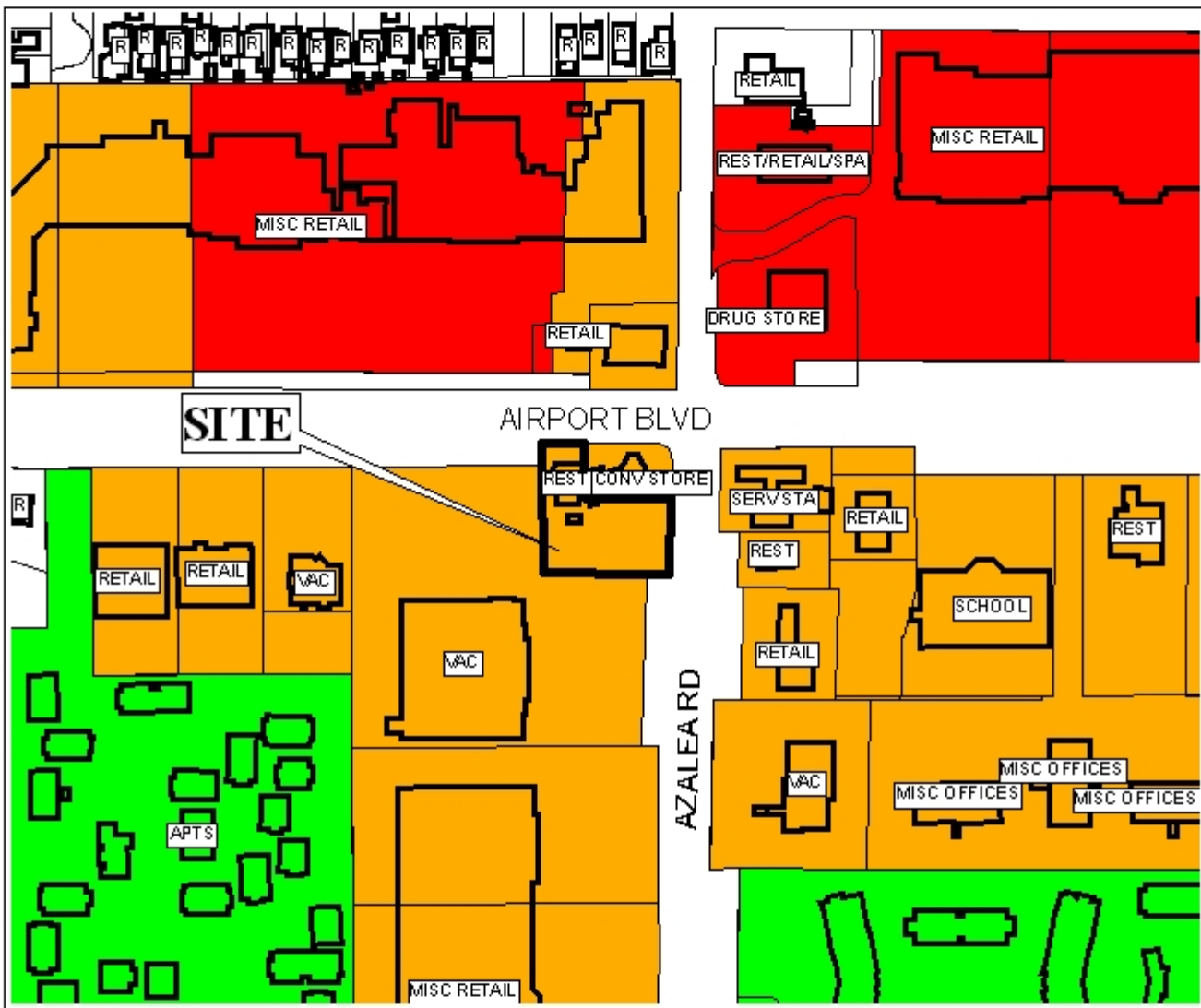
APPLICANT Scott Hudson

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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by commercial land use.

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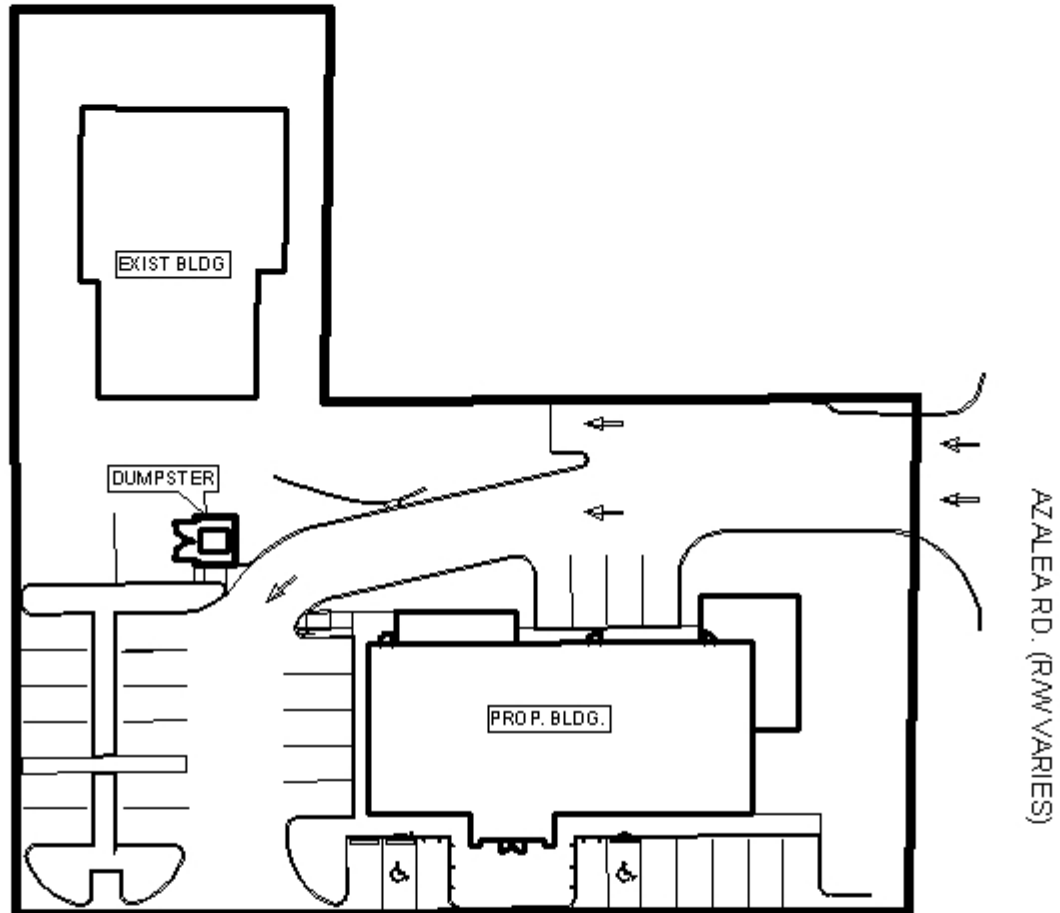
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LEGEND 

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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# SITE PLAN

AIRPORT BLVD. (R/W VARIES)



This site plan illustrates existing/proposed buildings and parking.

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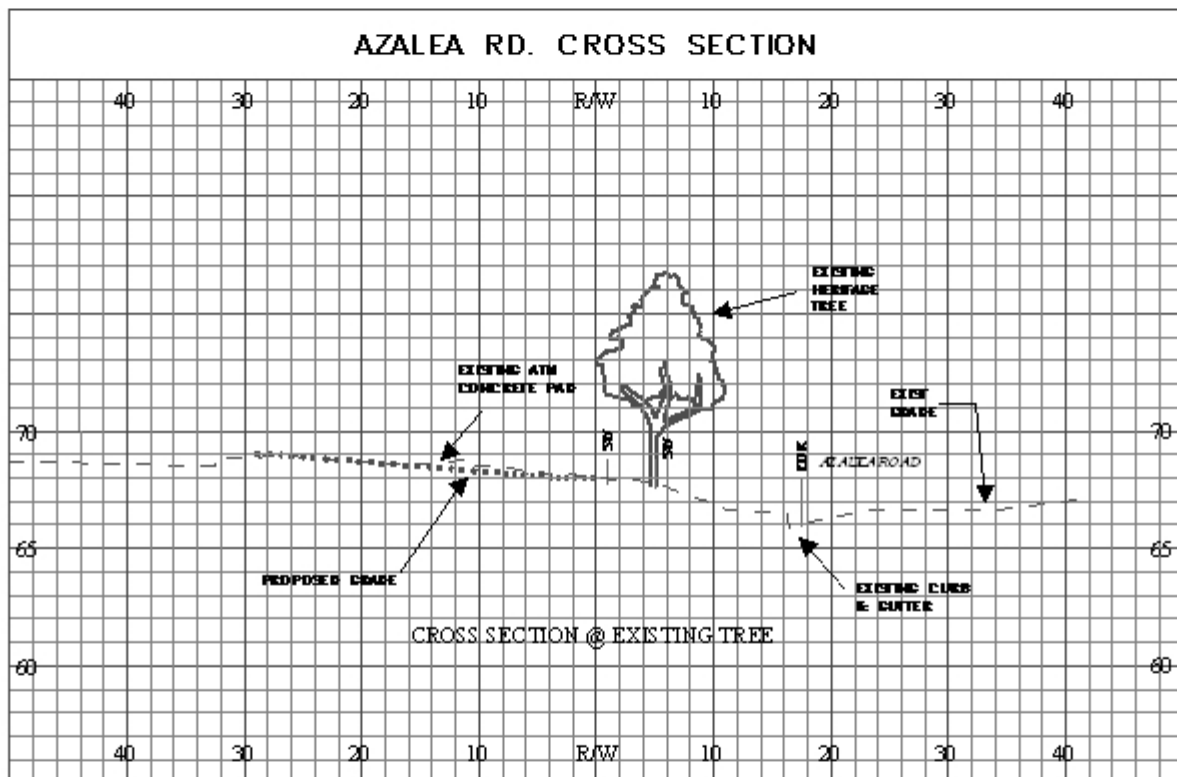
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# SIDEWALK CROSS-SECTION DETAIL



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