

**PLANNED UNIT DEVELOPMENT  
STAFF REPORT****Date: January 4, 2007****DEVELOPMENT NAME**

McCrary Storage

**LOCATION**4057 Moffett Road  
(South side of Moffett Road at Pine Grove Avenue)**SUBDIVISION NAME**

McCrary Subdivision

**CITY COUNCIL  
DISTRICT**

District 7

**PRESENT ZONING**

B-3, Community Business District

**AREA OF PROPERTY**1.4 acres  $\pm$ **CONTEMPLATED USE**

buildings on a single building site.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Within 6 months

**ENGINEERING  
COMMENTS**

Verify existing detention has capacity and functionality to replace existing gravel with additional parking and a building. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING  
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY  
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT  
COMMENTS**

No comments.

**REMARKS**

The applicant is requesting Planned Unit Development approval to allow multiple buildings on a single building site, amending a previously approved PUD.

The site was the subject of two prior PUD approvals, the first in 2001 and the second in 2004. The applicant is amending the previously approved PUD to show a proposed building within 5 feet of the East property line (previously shown as 10 feet), and changing the proposed use from offices to a climate-controlled mini-warehouse facility. Mini-warehouse facilities are allowed by-right in B-3 districts, and 5-foot side yard setbacks are allowed where commercial sites abut commercial sites.

The applicant states that changing market conditions make the originally proposed office building no longer financially feasible. The applicant goes on to state that the demand for mini-warehouse facilities is substantial, and that this change of use would help address the demand.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The site fronts Moffett Road, a major street with adequate right-of-way. No changes in curb-cuts or access are proposed as part of the PUD revision, thus no impact is anticipated.

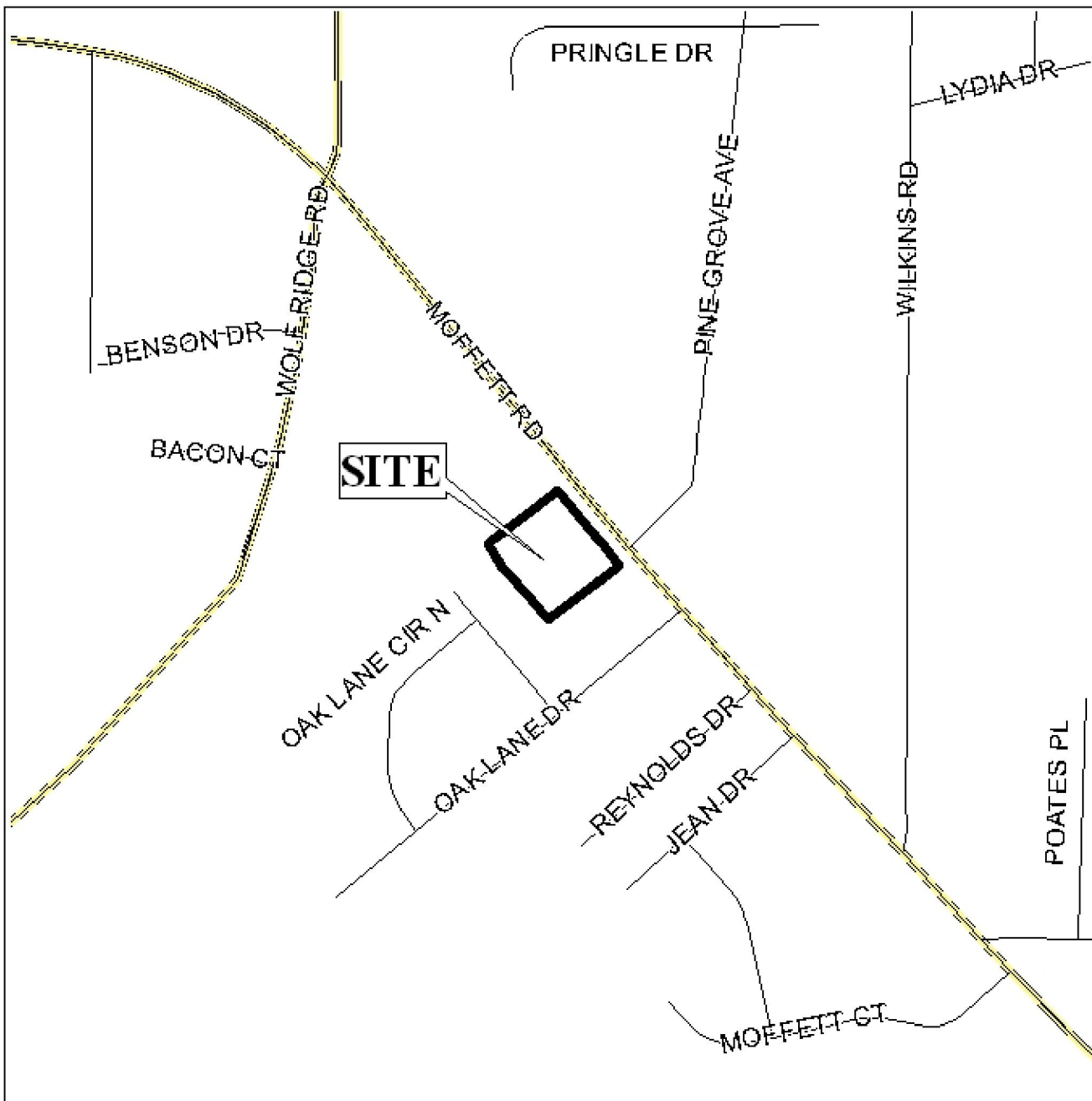
The previously approved PUD site plans depicted phased development, and the most recent approval in 2004 linked compliance with the tree and landscaping requirements of the Zoning Ordinance with the implementation of the phases – frontage trees were required prior to the issuance of the certificate of occupancy for the first phase, and full compliance was required by completion of the last phase, phase four. While this application shows no future phases, the site must be incrementally brought into compliance as each new phase of development is undertaken. Therefore, the applicant should coordinate with Urban Forestry to ensure compliance with the tree and landscaping requirements in a manner consistent with the proposed new development.

The proposed building will increase the impervious area on the property, thus on-site stormwater detention may be required: the detention should be depicted on the site plan, if required.

Finally, a sidewalk waiver was approved for the site in 2005.

**RECOMMENDATION:**      **Planned Unit Development:** Based on the preceding, the PUD application is recommended for Approval, subject to the following conditions: 1) compliance with the tree and landscaping requirements of the Zoning Ordinance to be coordinated with Urban Forestry, and to reflect the amount of new construction proposed, with full compliance ultimately required as the site is incrementally redeveloped; 2) compliance with Engineering comments (*Verify existing detention has capacity and functionality to replace existing gravel with additional parking and a building. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*); 3) the provision of a buffer, in compliance with Section 64-4.D.1. of the Zoning Ordinance, where the site adjoins residential zoning; and 4) full compliance with all other municipal codes and ordinances, with the exception of the sidewalk requirement.

# LOCATOR MAP



APPLICATION NUMBER 20 DATE January 4, 2007

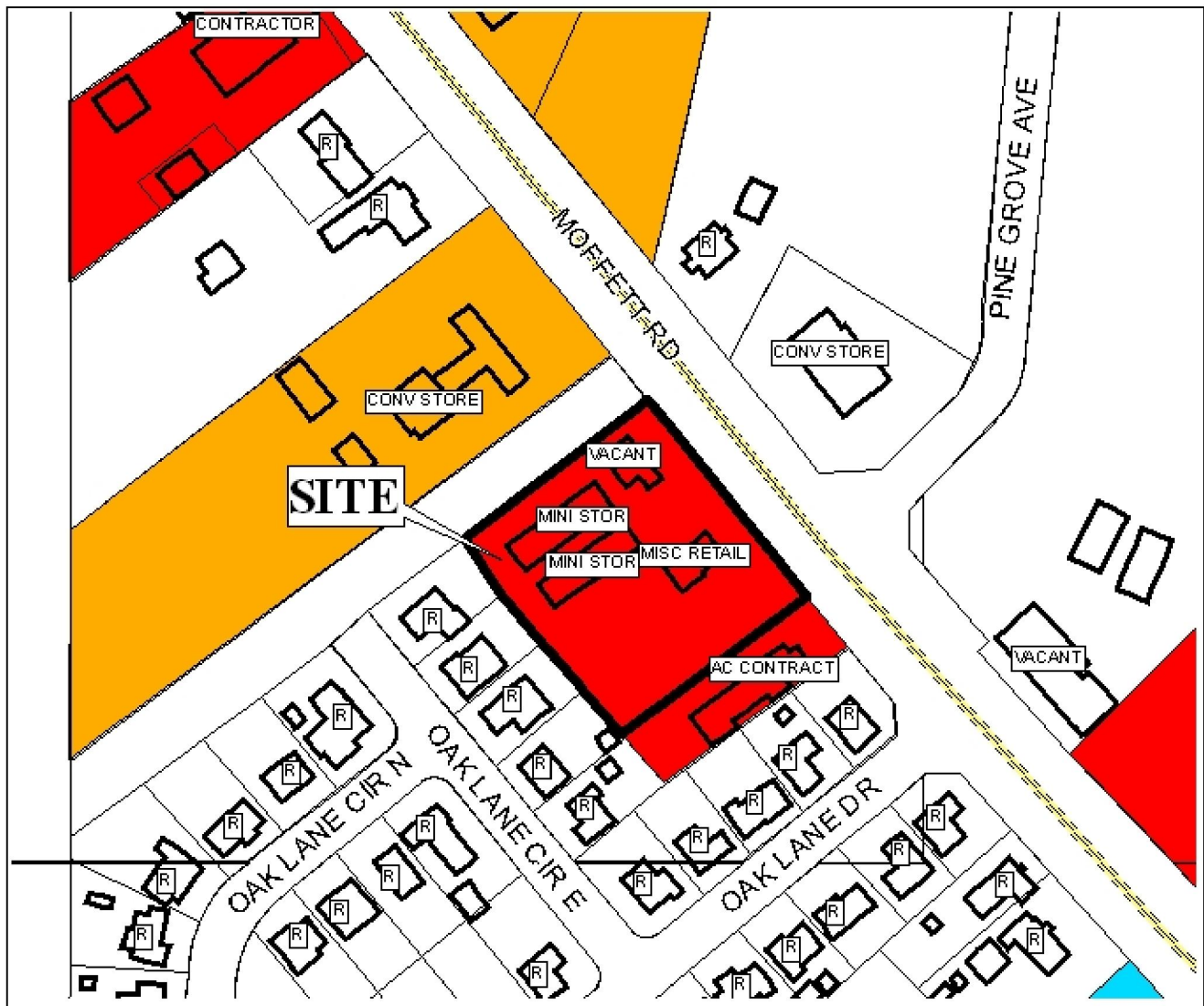
APPLICANT McCrary Storage

REQUEST Planned Unit Development



NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial and residential land use

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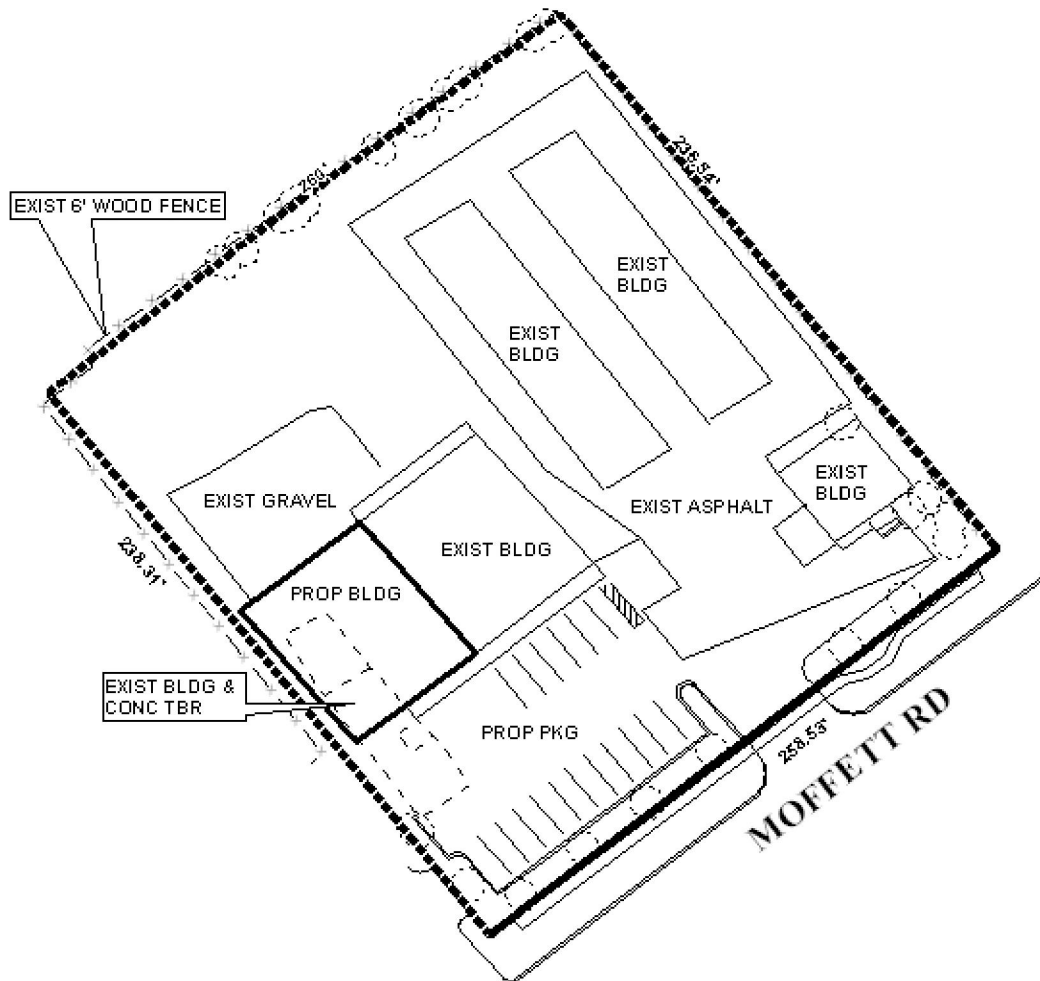
REQUEST Planned Unit Development

LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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# SITE PLAN



The site plan illustrates the existing buildings, buildings to be removed, proposed buildings, and proposed parking

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