

**PLANNING APPROVAL STAFF REPORT****Date: April 5, 2007****NAME**

Mobile Area Water &amp; Sewer System (Volkert &amp; Associates, Inc., Agent)

**LOCATION**1557 Sans Souci Road  
(South terminus of Sans Souci Road, extending South to I-10)**CITY COUNCIL  
DISTRICT**

District 4

**PRESENT ZONING**R-1, Single-Family Residential and  
B-2, Neighborhood Business Districts**AREA OF PROPERTY**

1 Lot / 16.6 + Acres

**CONTEMPLATED USE**

Planning Approval to allow a water or sewage pumping station and water storage in an R-1, Single-Family Residential District.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate

**ENGINEERING  
COMMENTS**

The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands. If wetlands are present, no fill allowed without a Corps of Engineers permit. Show minimum finished floor elevation for any buildings or structures and/or slabs, on which, mechanical and electrical equipment will be installed. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING  
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY  
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status granted for all 50" and larger trees. All work under the canopies is to be permitted and coordinated with Urban Forestry, removal to be permitted by Urban Forestry only

in the case of disease or impending danger. Exact curb cut locations and location of the proposed street and internal circulation drive should also be coordinated with Urban Forestry to ensure that no trees 50" and larger are effected.

**FIRE DEPARTMENT**  
**COMMENTS**

No comments.

**REMARKS**

The applicant is requesting Planning Approval to allow to allow a water or sewage pumping station and water storage in an R-1, Single-Family Residential District. Planning Approval is required for a sewage pump station and related facilities within R-1, Single Family Residential districts.

This application for Planning Approval follows the PUD, Subdivision and Sidewalk Waiver approvals granted by the Planning Commission for this site and use at its March 15, 2007 meeting.

MAWSS proposes to construct a 230-foot diameter, 50-foot high storage tank and support facilities that will hold wastewater during extreme rain events. The existing wastewater system becomes overwhelmed during extreme rain events because of infiltration of stormwater into the wastewater system, resulting in sewer overflows in the neighborhoods upstream of the existing pump station. MAWSS proposes to construct the storage tank and install new pumping equipment so that overflows are eliminated during storm events. After the storm event, wastewater stored in the 8-million gallon enclosed tank is pumped back into the wastewater system for treatment as capacity becomes available. All new structures on the site will be related to the pumping or storage of wastewater, and no habitable structures or offices are proposed. The site is currently fenced and gated with a chain-link fence, and no changes are proposed to the perimeter fence. On-site access and maneuvering will be via a gravel roadbed.

The site is bounded to the West and North by vacant land and residences in an R-1 district, to the East by the upper reaches of Dog River (lower reaches of Eslava Creek), and to the South by Interstate 10. The site under consideration is split-zoned, with the bulk of the site R-1 and a small portion of the site along the Interstate 10 right-of-way zoned B-2, Neighborhood Business: the split zoning condition was created by the Planning Commission and City Council in 1981 in order to allow billboards on the site.

The site itself contains an existing sewage pump station, emergency generator and fuel storage tank (for the generator). At one time, the site was a fully fledged sewage treatment facility, however, the facility was removed from the site after 1987.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that both the Planning Approval and the Planned Unit Development reviews are site plan specific; therefore *any* future changes to the site plan, as approved, by

current or future applicants must be submitted for Planning Approval and Planned Unit Development review.

The gravel roadbed will serve a public utility site. The limited traffic, proximity to a natural water body, and nature of the proposed use indicates that such paving material is appropriate for the location. Should increased use of the site be anticipated, a paved roadbed should be provided.

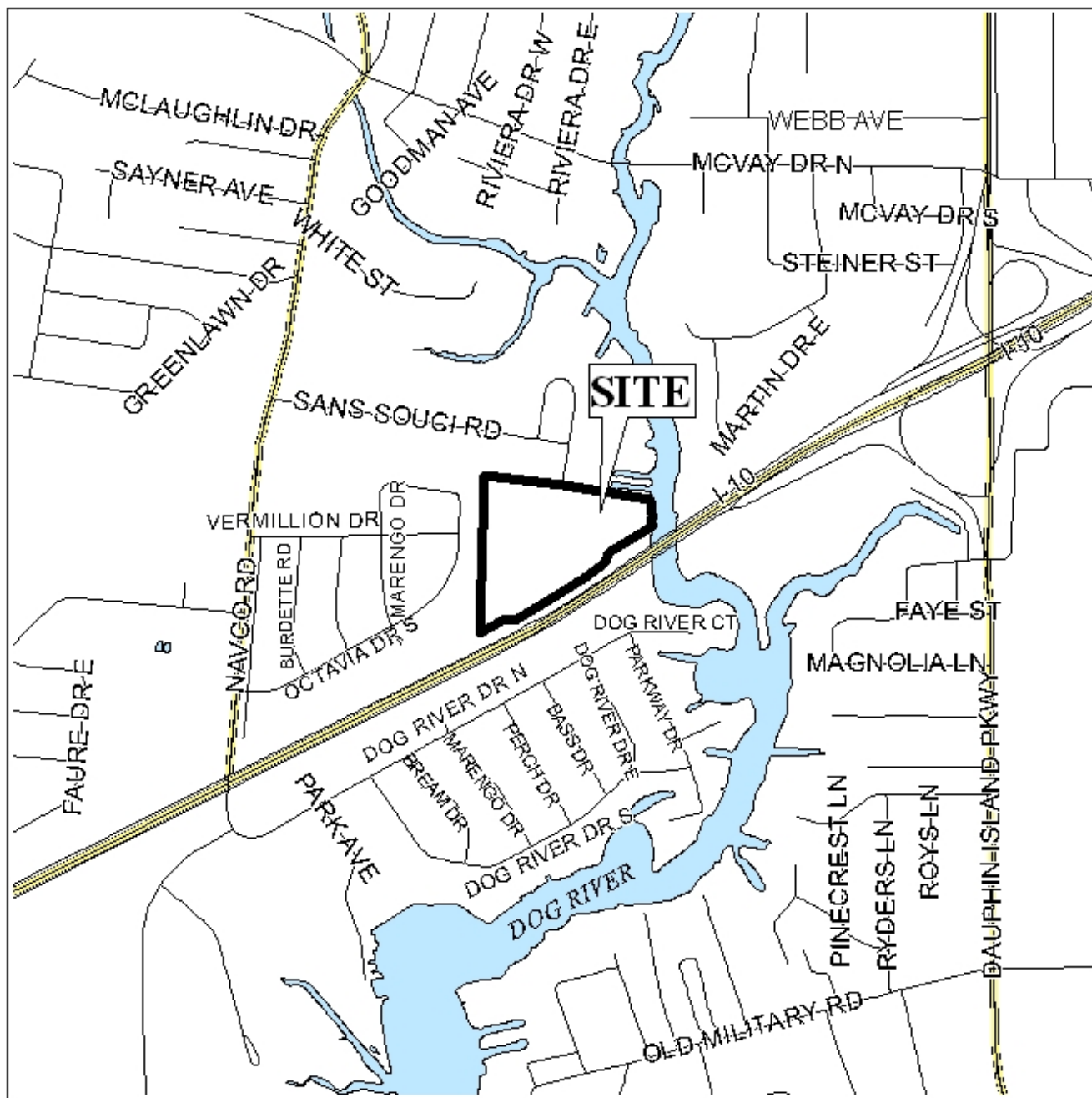
A portion of the site is within the floodplain for Dog River / Eslava Creek, thus wetlands may also be present. The potential presence of floodplains and wetlands indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

### **RECOMMENDATION**

**Planning Approval:** Based upon the preceding, this request is recommended for Approval, subject to the following conditions:

- 1) completion of the Subdivision process;
- 2) placement of a note on the site plan and plat stating that approval of all applicable federal, state and local agencies is required prior to the issuance of any permits or land disturbance activities; and
- 3) full compliance with all other municipal codes and ordinances.

## LOCATOR MAP



APPLICATION NUMBER 20 DATE April 5, 2007

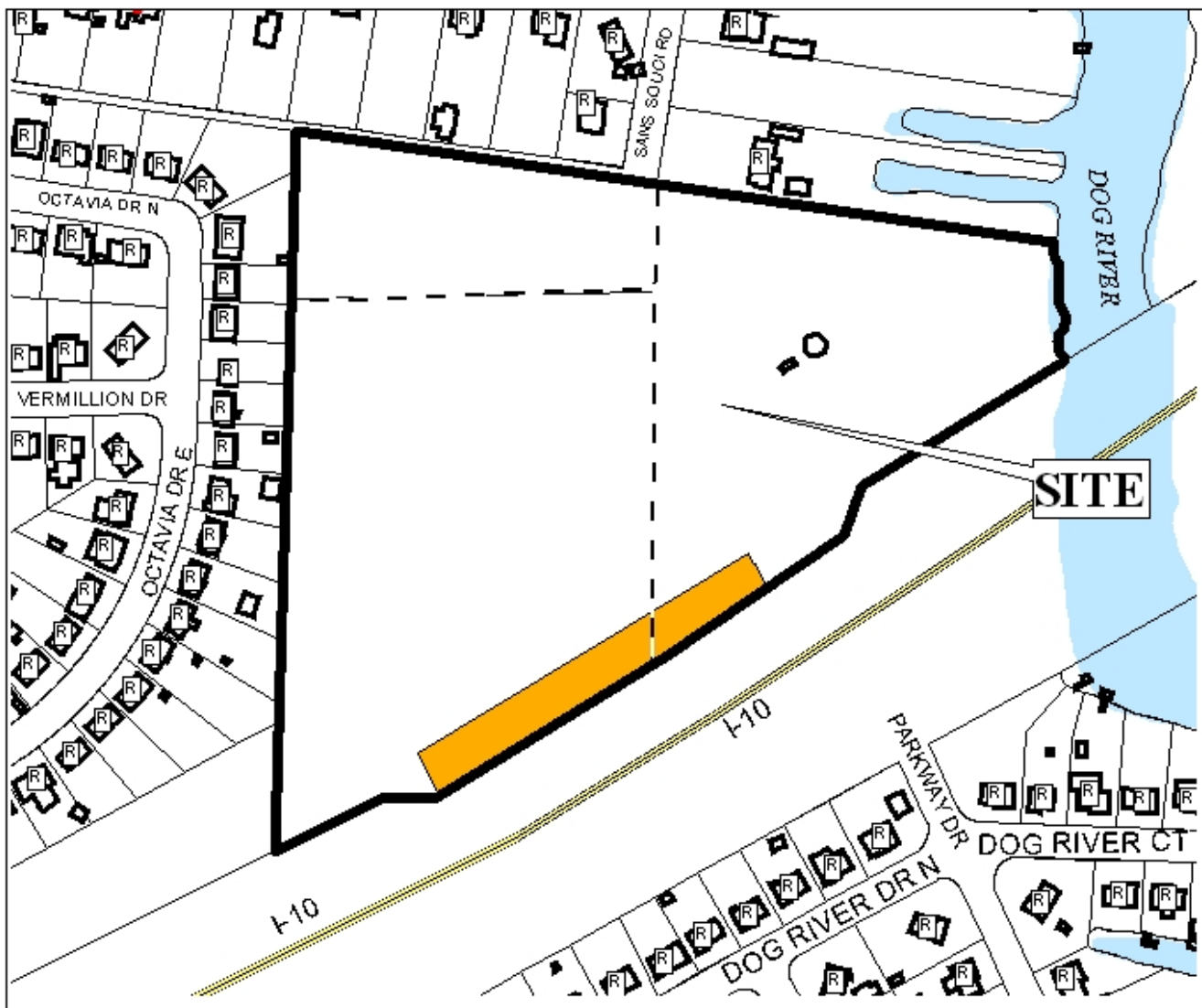
APPLICANT Mobile Area Water & Sewer System (Volkert & Associates, Inc., Agent)

REQUEST Planning Approval



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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units.

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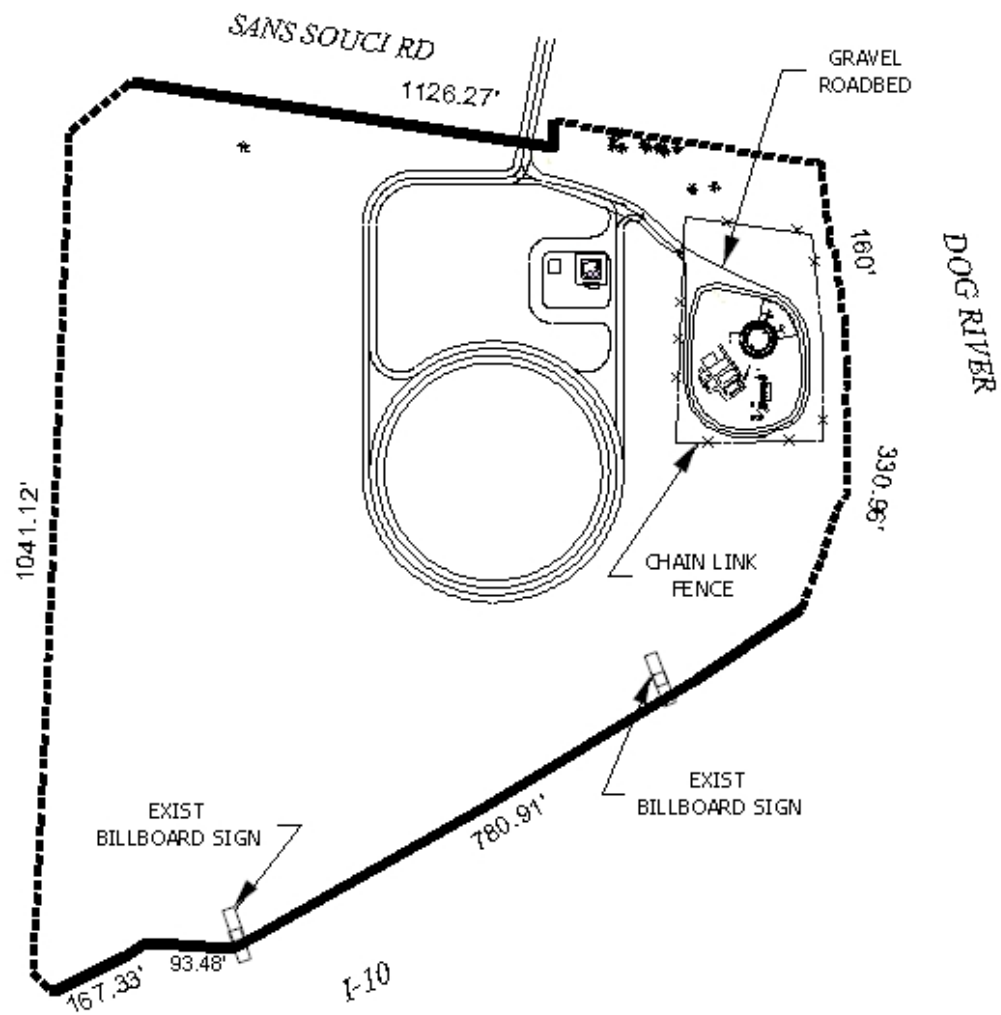
REQUEST Planning Approval

LEGEND 

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

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# SITE PLAN



The site plan illustrates existing and proposed buildings, roads, fences, and signs.

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