

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: November 5, 2015****DEVELOPMENT NAME**

Fullbrook Center Subdivision

SUBDIVISION NAME

Fullbrook Center Subdivision

LOCATION

1924, 1965, 2000 & 2222 Dauphin Island Parkway and
1923 Ryders Lane
(Northwest corner of Dauphin Island Parkway and Old
Military Road extending to the Northeast corner of Old
Military Road and Ryders Lane)

**CITY COUNCIL
DISTRICT**

District 3

AREA OF PROPERTY

4 Lots / 8.7± Acres

CONTEMPLATED USE

Planned Unit Development Approval to allow shared
access and parking on multiple building sites and Subdivision Approval to create 4 legal lots of
record from several existing metes and bounds parcels.

**TIME SCHEDULE
FOR DEVELOPMENT**

Not specified.

**ENGINEERING
COMMENTS****Subdivision**

The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add Roys Ln ROW along the north property line.
- C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southeast corner of LOT 3.
- D. Show and label each and every existing and proposed Right-Of-Way and easement.
- E. Provide and label the monument set or found at each subdivision corner.
- F. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- G. Provide the Surveyor's Certificate and Signature.

- H. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- I. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- J. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 27 - #81) the Lot(s) will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- K. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- L. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- M. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- N. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Planned Unit Development

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a

Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Dauphin Island Parkway is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2012 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planned Unit Development Approval to allow shared access and parking on multiple building sites and Subdivision Approval to create 4 legal lots of record from several existing metes and bounds parcels.

More specifically, the applicant proposes to construct a new parking lot with a total of 54 new parking spaces with shared access and parking, hence the current request.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is **site plan specific**, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The purpose of the subdivision request for this site is to create 4 legal lots of record from several existing metes and bounds parcels.

The preliminary plat illustrates the proposed 8.7± Acre subdivision which is located at the Northwest corner of Dauphin Island Parkway and Old Military Road extending to the Northeast corner of Old Military Road and Ryders Lane. The site is located in Council District 3 and the applicant states that the subdivision is served by city water and sanitary sewer.

In accordance to the Subdivision Regulations, all proposed lots appear to exceed the minimum size requirements. The lot size information and 25' minimum building setback line is illustrated on the preliminary plat and both should be retained on the Final Plat, if approved. In addition, a 25' minimum building setback line should also be depicted around the southern terminus of Roys Lane, which ends at the northern property line of the proposed Lot 1.

The site has frontage along multiple streets: Dauphin Island Parkway, Old Military Road, Ryders Lane and the southern terminus of Roys Lane. Dauphin Island Parkway is a major street as defined by the Major Street Plan component of the Comprehensive Plan; it should have a right-of-way width of 100. The right-of-way width for this street is labeled as 90'; thus dedication will be required. Dedication was required for the adjacent subdivision to the north (FOREST PARK RESUBDIVISION OF LOT 5 AND A PORTION OF LOT 6) at the Planning Commission's January 20, 2011 meeting, therefore, it would seem appropriate to also require dedication for this request as well. As such, the Final Plat and site plan should illustrate dedication sufficient to provide 50' as measured from the centerline of Dauphin Island Parkway.

Old Military Road is a minor street with sufficient right-of-way width; however, it appears that the existing right-of-way width for Ryders Lane is depicted as only 30'. As such, dedication should be required along this street sufficient to provide 25' as measured from centerline. In addition, the provision of a corner radius in compliance with Section V.D.6. of the Subdivision Regulations should also be required at the northeast corner of Old Military Road and Ryders Lane and the northwest corner of Old Military Road and Dauphin Island Parkway. Lot size information and 25' minimum building setback lines should be revised on the Final Plat and site plan to reflect all required dedication, if approved.

As a means of access management, all proposed lots should be limited to the existing curb-cuts, with any changes to the size, design and location to be approved by ALDOT (where appropriate) and Traffic Engineering and conform to AASHTO standards.

All proposed parking areas appear to be compliant in terms of travel aisle width and parking stall dimensions; however, the proposed parking spaces adjacent to the northern side of the existing commercial building on the proposed Lot 2 do not appear to contain any bumper stops, and it is unclear if curbing is provided. Any revised site plan or building plan should comply with Section 64-6. of the Zoning Ordinance, in addition to design compliance with the accessibility requirements of the applicable building code section at the time of permitting. It should be pointed out that staff was not provided an existing / proposed tenant mix of the existing buildings and, therefore, overall parking calculations cannot be verified at this time.

Since the applicant does not appear to be expanding the existing on-site parking area by at least 25%, full lighting compliance will not be required at this time; however, parking lot lighting will still be required for the new parking spaces. Any new lighting on the site must comply with the requirements of Sections 64-4.A.2., 64-6.A.3.c., and 64-6.A.8. of the Zoning Ordinance and a note reflecting this requirement should appear on any revised site plan. All new lighting should be oriented in such a way that the illumination does not shine directly onto adjacent residentially used properties.

In addition, the site plan should be revised to illustrate compliance with Section 64-6.A.3.i. of the Zoning Ordinance regarding screening and landscaping requirements to ensure proposed parking facilities are appropriately screened from adjacent residentially used property. Generally, a 3' – 5' tall evergreen hedge may be appropriate. All required buffering along Ryders Lane should be depicted on the revised site plan.

Tree and landscaping information for the overall site is not depicted on the site plan but existing trees 24" and larger are illustrated. As no significant structural expansions are proposed at this time, full compliance with the tree and landscaping requirements of the Zoning Ordinance will not be required at this time; however the provision of three understory parking trees will be required as a result of the proposed parking spaces and should be depicted on the revised site plan.

There is no dumpster depicted on the proposed Lot 2, which would suggest waste removal will be via curb-side pick-up. As such, any revised site plan should illustrate the location of a dumpster in compliance with Section 64-4.D.9. of the Zoning Ordinance, or a note stating that waste removal will be via curb-side pick-up.

It should be pointed out that although no changes are anticipated for the proposed Lots 3 and 4, these lots should be detailed as they are a part of the Planned Unit Development. Sidewalks, the existing commercial buildings, parking facilities, sign structures, landscaping and so forth, should all be illustrated on the revised site plan.

The applicant should keep in mind that as PUDs are site plan specific, any future redevelopment of the site will require a new PUD application to the Planning Commission to amend the existing PUD.

RECOMMENDATION

Subdivision: Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) Dedication sufficient to provide 50' as measured from the centerline of Dauphin Island Parkway;
- 2) Dedication sufficient to provide 25' as measured from the centerline of Ryders Lane;
- 3) Provision of a corner radius at the northeast corner of Old Military Road and Ryders Lane and Old Military Road and Dauphin Island Parkway, in compliance with Section V.D.6. of the Subdivision Regulations;
- 4) Revision of the lot size information and 25' minimum building setback line on the Final Plat to reflect dedication;

- 5) Depiction of a 25' minimum building setback line at the southern terminus of Roys Lane where it abuts the northern property line of Lot 1;
- 6) Depiction of the existing right-of-way width for Roys Lane where it abuts Lot 1;
- 7) Placement of a note on the Final Plat stating that all lots are limited to the existing curb-cuts, with any changes to the size, design and location to be approved by ALDOT and Traffic Engineering and conform to AASHTO Standards;
- 8) Compliance with Engineering Comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add Roys Ln ROW along the north property line. C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southeast corner of LOT 3. D. Show and label each and every existing and proposed Right-Of-Way and easement. E. Provide and label the monument set or found at each subdivision corner. F. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. G. Provide the Surveyor's Certificate and Signature. H. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. I. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. J. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 27 - #81) the Lot(s) will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. K. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. L. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. M. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. N. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);
- 9) Compliance with Traffic Engineering Comments (*Dauphin Island Parkway is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 10) Compliance with Urban Forestry Comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*

- 11) Compliance with Fire Department Comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2012 International Fire Code, as adopted by the City of Mobile.*); and
- 12) Submission of a revised PUD site plan prior to the signing of the Final Plat.

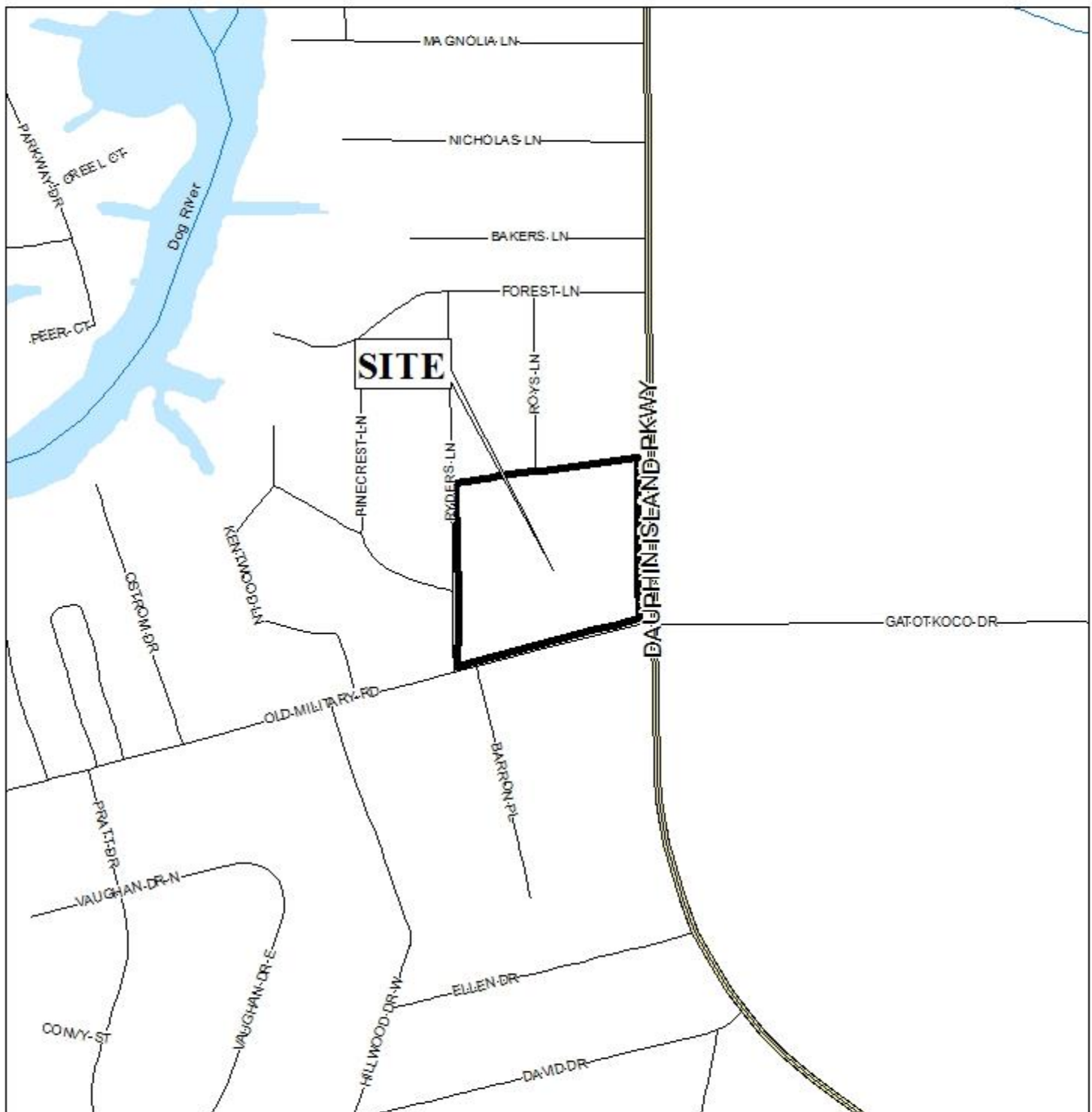
Planned Unit Development: The application is recommended for approval, subject to the following conditions:

- 1) Submission of a tenant mix of the overall site in order for staff to determine parking compliance;
- 2) Revision of the site plan to illustrate dedication along Dauphin Island Parkway and Ryders Lane, and a corner radius at the corners of Ryders Lane and Old Military Road and Old Military Road and Dauphin Island Parkway, in coordination with the Final Plat;
- 3) Revision of the lot size information and 25' minimum setback lines on the site plan to reflect dedication, in coordination with the Final Plat;
- 4) Revision of the site plan to illustrate curbing and / or bumper stops for all proposed parking spaces along the northern side of the existing commercial building on Lot 2;
- 5) Revision of the site plan to illustrate all existing development on Lots 3 and 4;
- 6) Depiction of all sidewalks, signage and dumpsters on the site plan, along with a note stating compliance with Section 64-4.D.9. of the Zoning Ordinance regarding dumpster compliance;
- 7) Provision of landscaping notes, 3 understory parking trees for the proposed parking facilities and retention of all depicted trees larger than 24";
- 8) Revision of the site plan to depict a dumpster in compliance with Section 64-4.D.9. of the Zoning Ordinance for Lot 2, or a note stating that waste removal will be via curb-side pick-up;
- 9) Compliance with Engineering Comments (*ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed*

development must comply with all Engineering Department design requirements and Policy Letters.);

- 10) Compliance with Traffic Engineering Comments (*Dauphin Island Parkway is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 11) Compliance with Urban Forestry Comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 12) Compliance with Fire Department Comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2012 International Fire Code, as adopted by the City of Mobile.);*
- 13) Completion of the Subdivision process prior to any request for building-related or land disturbance permits;
- 14) Submission of a revised PUD site plan prior to the signing of the Final Plat; and
- 15) Full compliance with all other municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 20 DATE November 5, 2015

APPLICANT Fulbrook Center Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the west and commercial units to the east.

APPLICATION NUMBER 20 DATE November 5, 2015

APPLICANT Fulbrook Center Subdivision

REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the west and commercial units to the east.

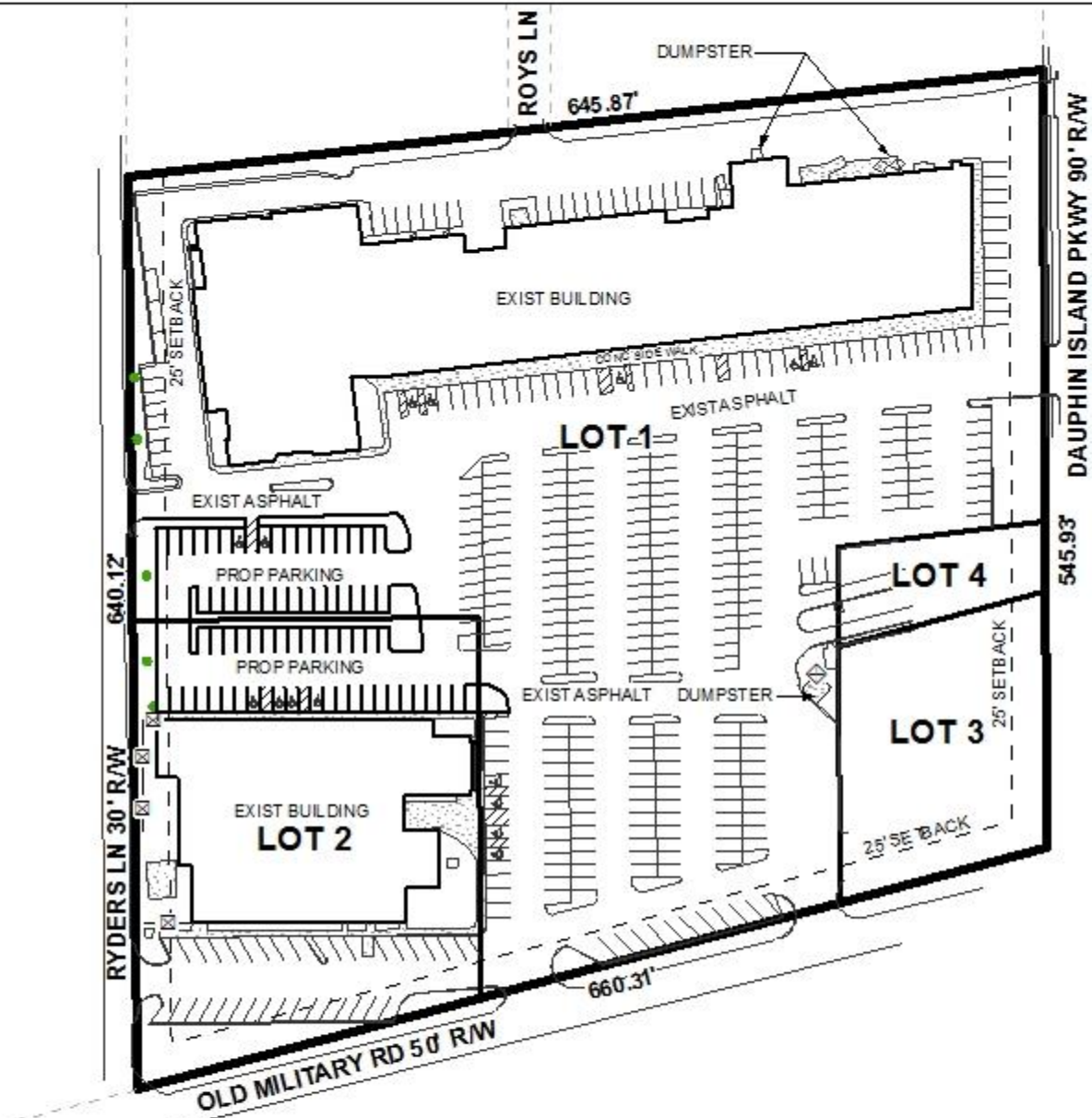
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REQUEST Subdivision, Planned Unit Development



SITE PLAN



The site plan illustrates the existing buildings, setbacks, proposed parking facility, and proposed lot lines.

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REQUEST Subdivision, Planned Unit Development

