

CYNTHIA QUINLEY SUBDIVISION

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. Add the existing shed onto the drawing and correct the area of the dwelling labeled "CARPORT". 3. A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat. 4. Label Old Shell Road in the vicinity map.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: No comments.

The plat illustrates the proposed 0.4± acre, 2-lot subdivision, which is located on the North side of Cynthia Drive at its East terminus, in Council District 7. The applicant states the site is served by city water and sanitary sewer services.

The purpose of this application is to subdivide an existing legal lot of record into two legal lots of record. Both proposed lots would meet the minimum size requirements.

The legal description is not on the preliminary plat; therefore, the plat should be revised to include the legal description.

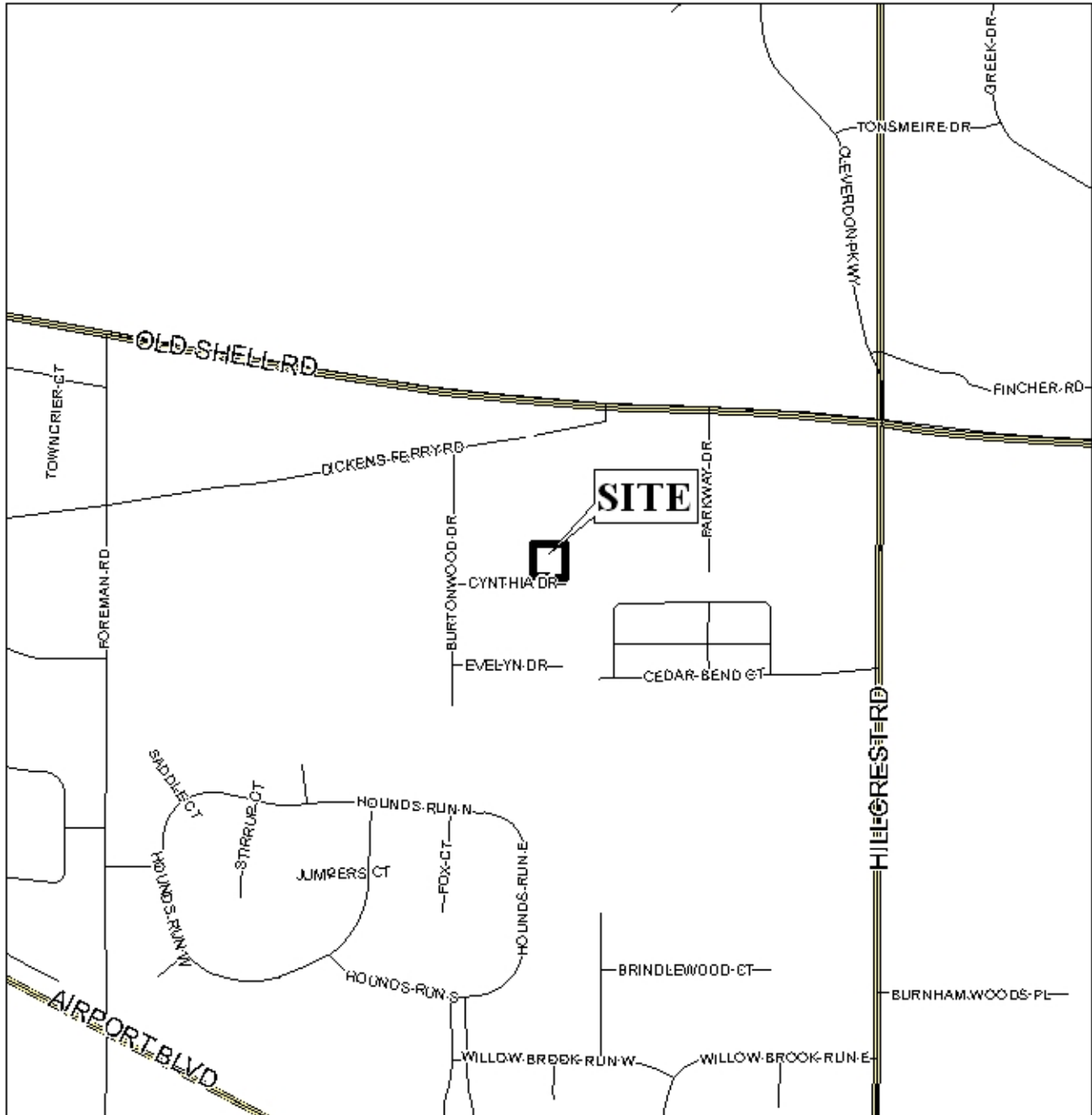
Cynthia Drive is a minor street with a compliant 50' right-of-way; therefore, no dedication would be required. As Cynthia Drive is a closed-end street, a turn-around would normally be required if not currently provided. However, Fire Department correspondence concerning this matter indicates that none would be required if acceptable with Traffic Engineering and City Engineering. And due to existing development within the immediate area, this would not be possible. As a means of access management, a note should be required on the Final Plat stating that each lot is limited to one curb cut to Cynthia Drive, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. As on the preliminary plat, the Final Plat should illustrate the 25' minimum building setback line along Cynthia Drive. The plat should be revised to label each lot with its size in both square feet and acres, or a table should be furnished on the Final Plat providing the same information.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to include the legal description of the property being subdivided;
- 2) placement of a note on the Final Plat stating that each lot is limited to one curb cut to Cynthia Drive, with its size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) illustration of the 25' minimum building setback line along Cynthia Drive;
- 4) revision of the plat to label each lot with its size in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 5) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;
- 6) subject to the Engineering Comments: *(The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. Add the existing shed onto the drawing and correct the area of the dwelling labeled "CARPORT". 3. A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat. 4. Label Old Shell Road in the vicinity map.); and*
- 7) subject to the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.)*

LOCATOR MAP



APPLICATION NUMBER 20 DATE October 4, 2012

APPLICANT Cynthia Quinley Subdivision

REQUEST Subdivision



CYNTHIA QUINLEY SUBDIVISION



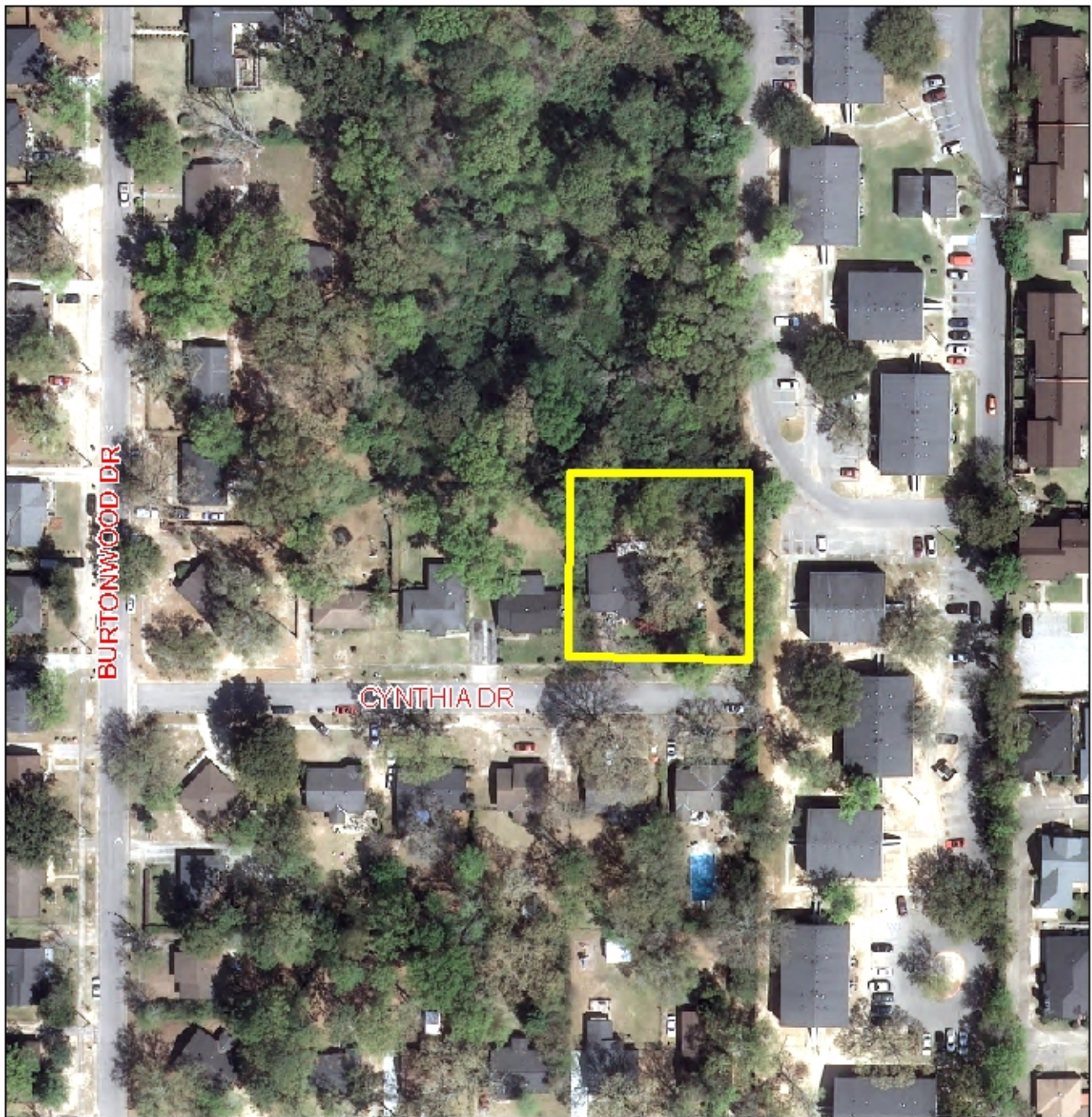
APPLICATION NUMBER 20 DATE October 4, 2012

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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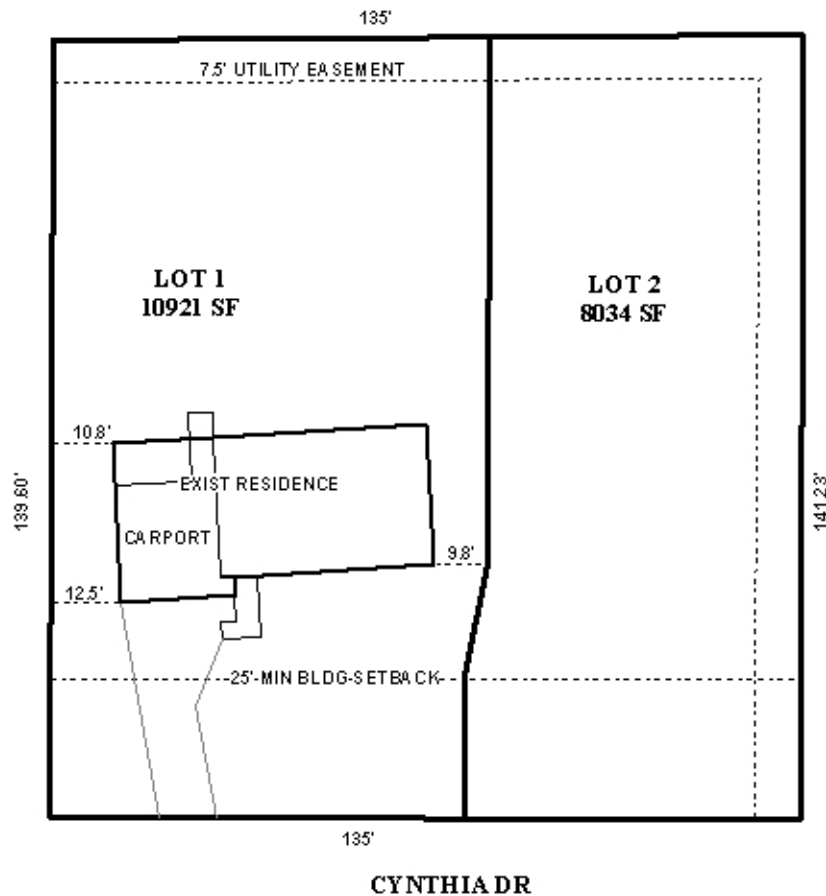
CYNTHIA QUINLEY SUBDIVISION



APPLICATION NUMBER 20 DATE October 4, 2012



DETAIL SITE PLAN



APPLICATION NUMBER 20 DATE October 4, 2012

APPLICANT Cynthia Quinley Subdivision

REQUEST Subdivision

