

CREEKLINE SUBDIVISION, TENTH ADDITION,
RESUBDIVISION OF LOT 1, RESUBDIVISION OF AND
ADDITION TO LOT 8

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer: a. Provide all of the required information on the Plat (i.e. signature blocks, signatures, certification statements, required notes, legend). b. Add a note to the Plat stating that a Land Disturbance Permit will be required for any site improvements on the property. These improvements may require storm water detention. The Permit submittal shall be in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045). c. Provide a signature from the Planning Commission, Owner(s) (notarized) and Surveyor. d. Add a signature block and signature for the Traffic Engineer. e. Provide and label the monument set or found at each subdivision corner. f. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity. g. Add a note to the Plat that any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). h. Show the Minimum Finished Floor Elevation (MFFE) for Lot 2 that is located within the AE and X-shaded flood zones. i. Provide a drainage easement for the existing drainage ditch. Size and location to be approved by the City Engineer.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 2-lot, 9.1 ± acre subdivision, which is located at the Northeast corner of Cyress Business Park Drive and Crown Drive, in Council District 4. The applicant states the site is served by city water and sewer services.

The purpose of this application is to resubdivide one legal lot of record into two legal lots of record.

The lot was initially created by the Planning Commission in 1999 as part of the Creekline Subdivision, Tenth Addition. In 2001, the Planning Commission approved a subdivision expanding the size of the lot to its current size. Now the applicants are requesting to resubdivide the lot to create two separate legal lots of record.

The site fronts Cypress Business Park Drive and Crown Drive which are considered minor streets without curb and gutter, thus requiring a 60' right-of-way as depicted on the plat. As a means of access management, a note should be required on the Final Plat stating that each lot is limited to two curb-cuts with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. As on the preliminary plat, the Final Plat should illustrate the 25' minimum building setback line along Cypress Business Park Drive and Crown Drive. Although each lot meets the minimum requirements of the Subdivision Regulations if approved, the plat should be revised to label each lot with its size in both square feet and acres, or a table should be furnished on the Final Plat providing the same information.

Both proposed lots have easements on the property. A note should be placed on the Final Plat stating no structures shall be constructed or placed in any easements.

It should also be noted that a large portion of the proposed Lot 2 is located within the X-shaded and AE flood zones associated with a tributary to Halls Mill Creek. Wetlands associated with the waterway may also occur on a portion of the site. The presence of floodplains would indicate that the area may be environmentally sensitive; therefore, if approved, the approval of all applicable federal, state and local environmental agencies would be required regarding floodplain and wetland issues prior to the issuance of any permits or land disturbance activities.

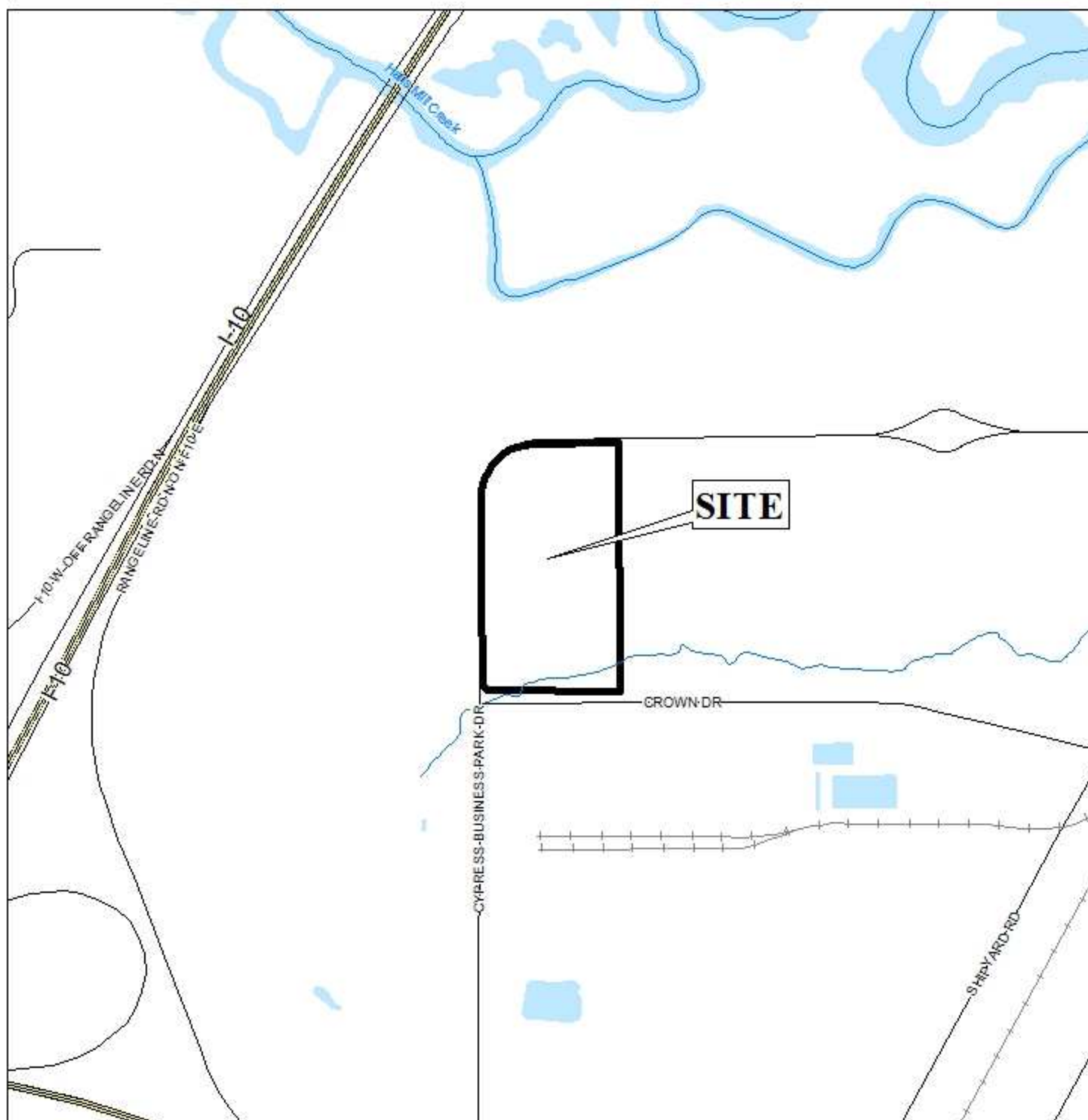
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the proceeding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) labeling of each lot with its size in acres and square feet, or the furnishing of a table on the final plat providing the same information;
- 2) illustration of the 25' minimum building setback line should be retained on Final Plat;
- 3) placement of a note on the final plat stating that approval of all applicable Federal, state and local agencies is required for flood zone and wetland issues prior to the issuance of any permits or land disturbance activities;
- 4) placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;

- 5) compliance with Engineering comments: *“The following comments should be addressed prior to acceptance and signature by the City Engineer: a. Provide all of the required information on the Plat (i.e. signature blocks, signatures, certification statements, required notes, legend). b. Add a note to the Plat stating that a Land Disturbance Permit will be required for any site improvements on the property. These improvements may require storm water detention. The Permit submittal shall be in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045). c. Provide a signature from the Planning Commission, Owner(s) (notarized) and Surveyor. d. Add a signature block and signature for the Traffic Engineer. e. Provide and label the monument set or found at each subdivision corner. f. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity. g. Add a note to the Plat that any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). h. Show the Minimum Finished Floor Elevation (MFFE) for Lot 2 that is located within the AE and X-shaded flood zones. i. Provide a drainage easement for the existing drainage ditch. Size and location to be approved by the City Engineer.”*
- 6) subject to Traffic Engineering comments: *“Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.”*
- 7) subject to Urban Forestry comments: *“Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64)”*; and
- 8) subject to Fire comments: *“All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.”*

LOCATOR MAP



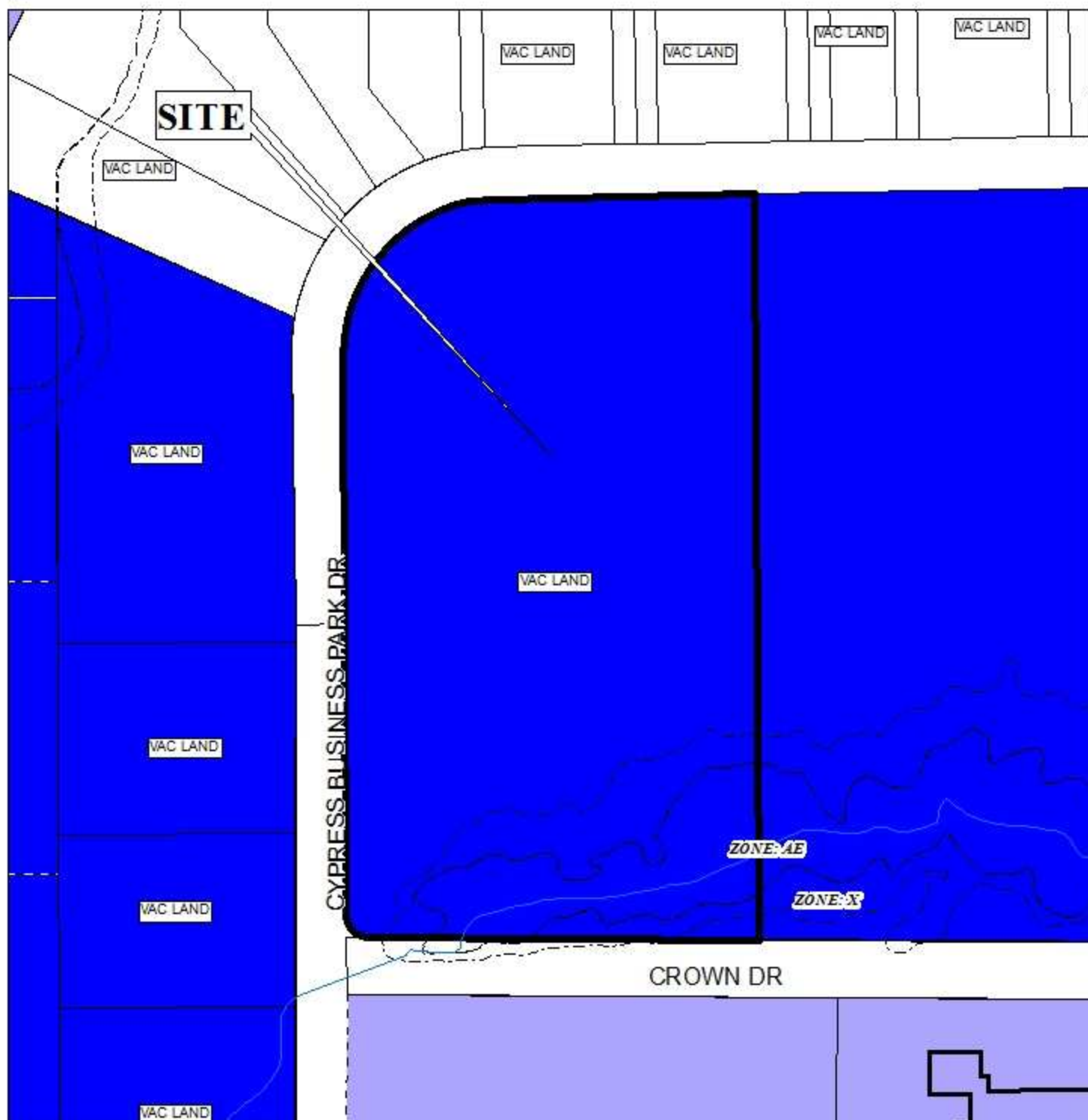
APPLICATION NUMBER 20 DATE October 3, 2013

APPLICANT Creekline Subdivision, Tenth Addition, Resubdivision of Lot 1, Resubdivision of and Addition to Lot 8

REQUEST Subdivision



CREEKLINE SUBDIVISION, TENTH ADDITION, RESUBDIVISION OF LOT 1, RESUBDIVISION OF AND ADDITION TO LOT 8



APPLICATION NUMBER 20 DATE October 3, 2013

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

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OF LOT 1, RESUBDIVISION OF AND ADDITION TO LOT 8**

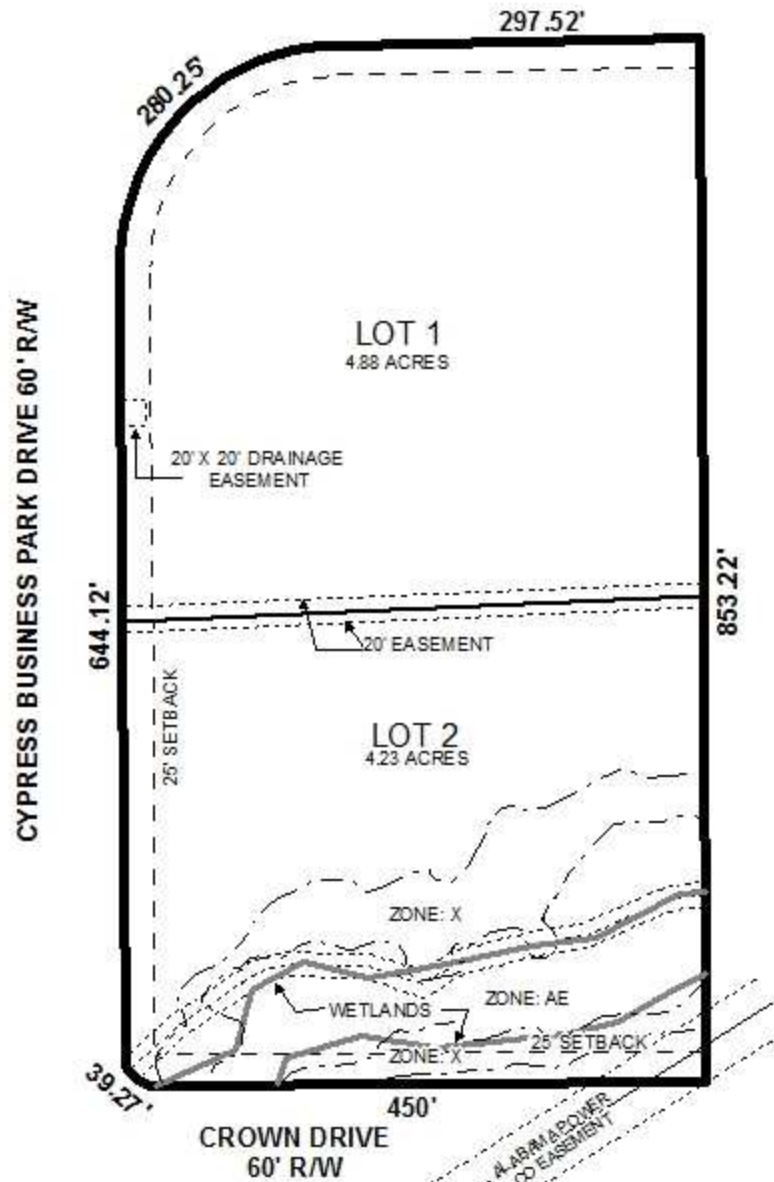


APPLICATION NUMBER 20 DATE October 3, 2013

LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



SITE PLAN



The site plan illustrates the floodzones, wetlands, easements, setback, and lots.

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