

AARON'S PLAZA SUBDIVISION

Engineering Comments: Development of property must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 2-lot, 18.7± acre subdivision which is located on the East side of Schillinger Road, 240'± South of Foxfire Drive. The subdivision is served by city water and sanitary facilities.

The purpose of this application is to create a two-lot subdivision from a metes and bounds parcel.

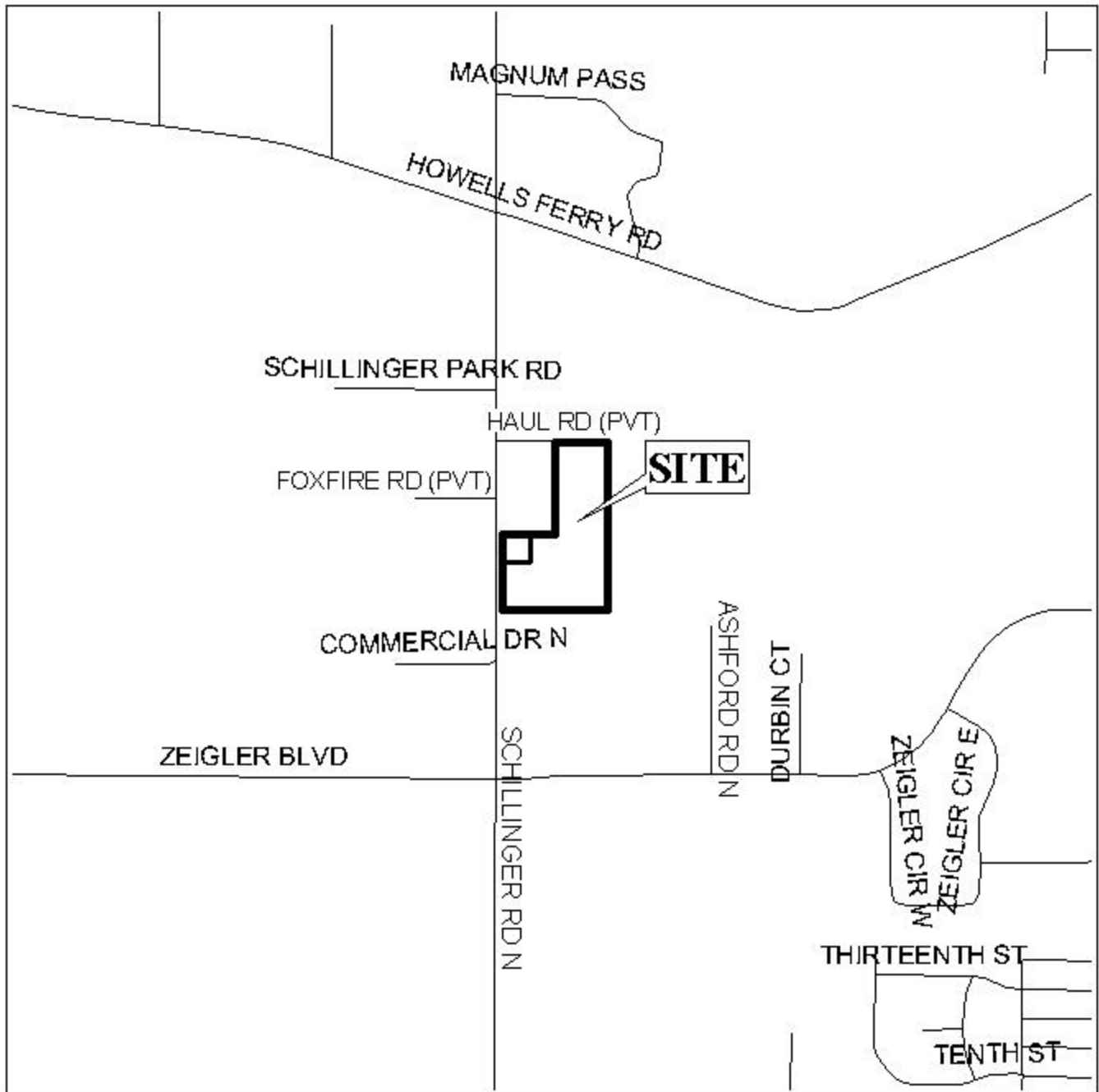
The site fronts Schillinger Road, a planned major street, and the existing right-of-way is illustrated as variable. The Major Street Plan requires a 100-foot right-of-way; therefore, the dedication of adequate right-of-way to provide 50-feet from the centerline of Schillinger Road should be required. Additionally, since the site will have approximately 590-feet of road frontage on a major street, access management is a concern; therefore, a note should be placed on the final plat stating that Lot 1 should be limited to one curb cut to Schillinger Road, with the location and design to be approved by County Engineering. Lot 2 should be denied access to Haul Road, a private road, and limited to two curb cuts to Schillinger Road, with the location and design to be approved by County Engineering.

Since the site is located in the County, a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property, shall provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The required twenty-five foot minimum building setback lines are not illustrated, but will be required on the final plat.

With modifications, the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the dedication of any necessary right-of-way to provide 50-feet from the centerline of Schillinger Road; 2) placement of a note on the final plat stating that Lot 1 is limited to one curb cut to Schillinger Road, with the location and design to be approved by County Engineering; 3) placement of a note on the final plat stating that Lot 2 is denied access to Haul Road (private road), and limited to two curb cuts to Schillinger Road, with the location and design to be approved by County Engineering; 4) the placement of a note on the final plat stating that a buffer, in compliance with Section V.A.7., will be provided where the site adjoins residentially developed property; and 5) placement of the required 25-foot minimum building setback line on the final plat.

LOCATOR MAP

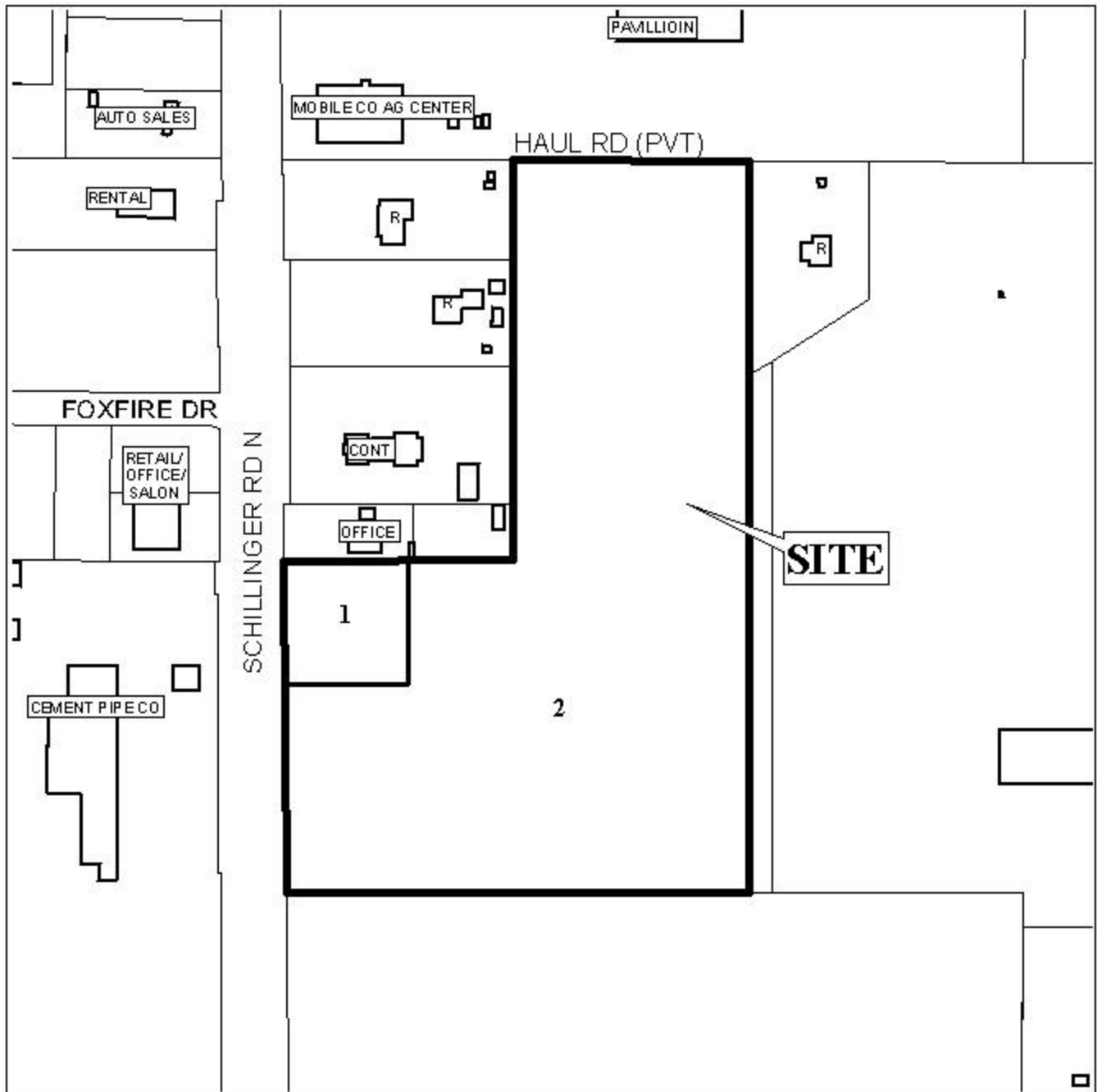


APPLICATION NUMBER 20 DATE January 8, 2004
APPLICANT Aaron's Plaza Subdivision
REQUEST Subdivision



NTS

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LEGEND

