

## **233 JOINT VENTURE SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 1 lot, 12.4 ± acre subdivision which is located on the East side of Schillinger Road, 190' + North of Grelot Road, extending to the North side of Grelot Road, 180' + East of Schillinger Road. The applicant states that the subdivision is served by public water and sanitary sewer facilities.

The purpose of this application is to create a legal lot of record from a metes and bounds parcel.

The site fronts onto Schillinger Road South and Grelot Road, both proposed major streets. Specific right-of-way dimensions are not provided on the plat, however, the applicant should ensure that sufficient right-of-way to provide 50 feet, as measured from the centerline of each road exists, or the plat should be revised to dedicate the necessary right-of-way.

As both Schillinger Road South and Grelot Road are proposed major streets, access management is a concern. The site has approximately 1000 feet of frontage onto Schillinger Road South, and approximately 240 feet of frontage onto Grelot Road. Each road frontage includes areas that are encumbered by 2<sup>nd</sup> Creek, thus the Schillinger Road frontage should be limited to a maximum of three (3) curb-cuts, and the Grelot Road frontage should be limited to one (1) curb-cut. The size, design and location of any curb-cuts are to be approved by the Mobile County Engineering Department.

The plat illustrates that wetlands are present on the property, thus some parts of the site may be considered environmentally sensitive. Therefore, approvals from federal, state, and local agencies will be required for potential floodplain and wetland issues prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

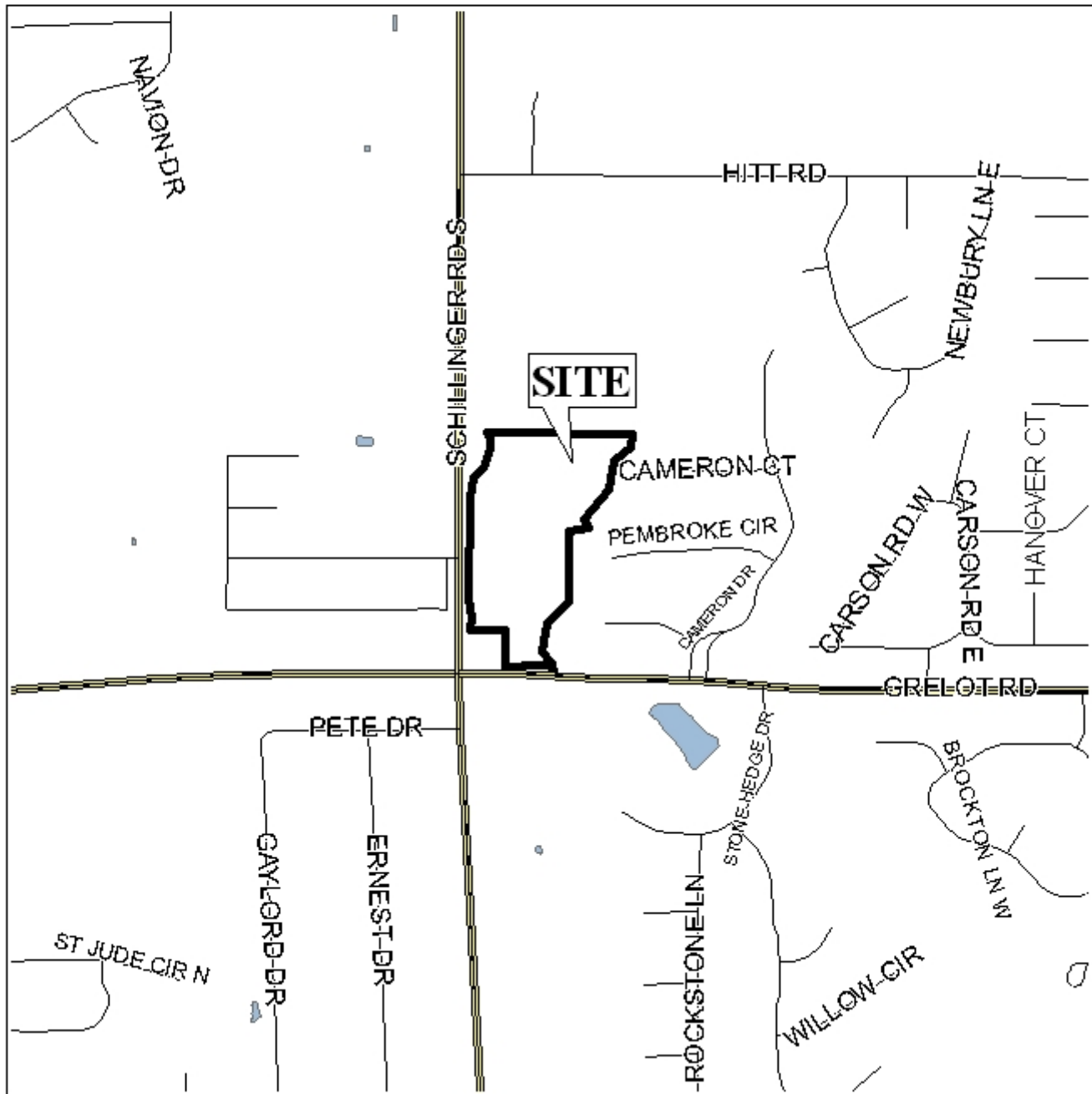
This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

Finally, while the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the final plat stating that the lot is limited to three (3) curb-cuts onto Schillinger Road South and one (1) curb-cut onto Grelot Road, with the size, design and location of all curb-cuts to be approved by the Mobile County Engineering Department;
- 2) Dedication and labeling of right-of-way sufficient to provide 50-feet as measured from the centerline along both Schillinger Road South and Grelot Road, if necessary to meet minimum requirements;
- 3) Depiction of the 25-foot minimum building setback line on the final plat, as depicted on the preliminary plat;
- 4) Placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 5) Placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) Placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for wetland and floodplain issues, if any, prior to the issuance of any permits or land disturbance activities;
- 7) The labeling of all lots with their size in square feet, as depicted on the preliminary plat; and
- 8) Placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

# LOCATOR MAP



APPLICATION NUMBER 20 DATE March 6, 2008

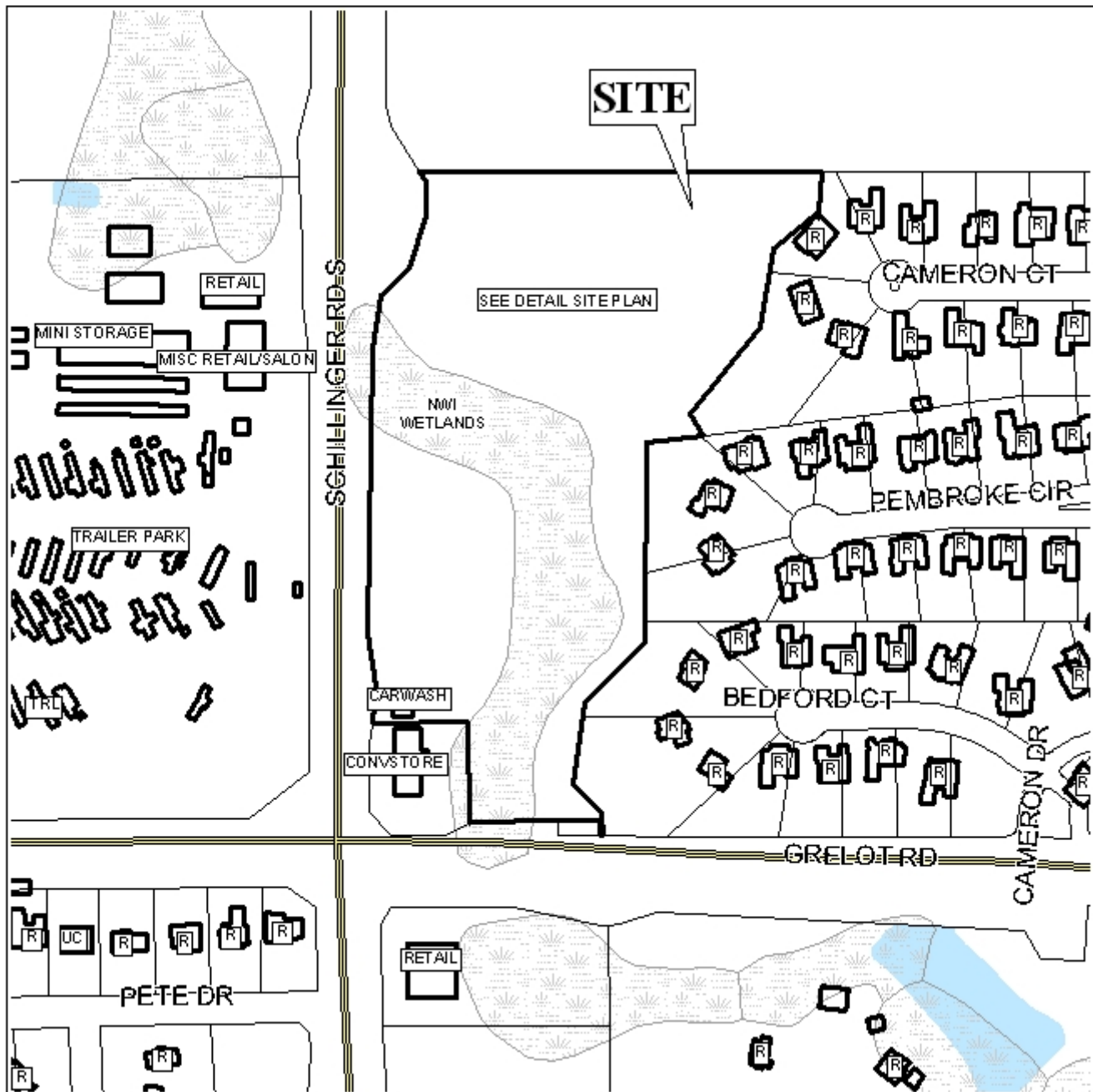
APPLICANT 233 Joint Venture, LLC

REQUEST Subdivision



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# 233 JOINT VENTURE SUBDIVISION



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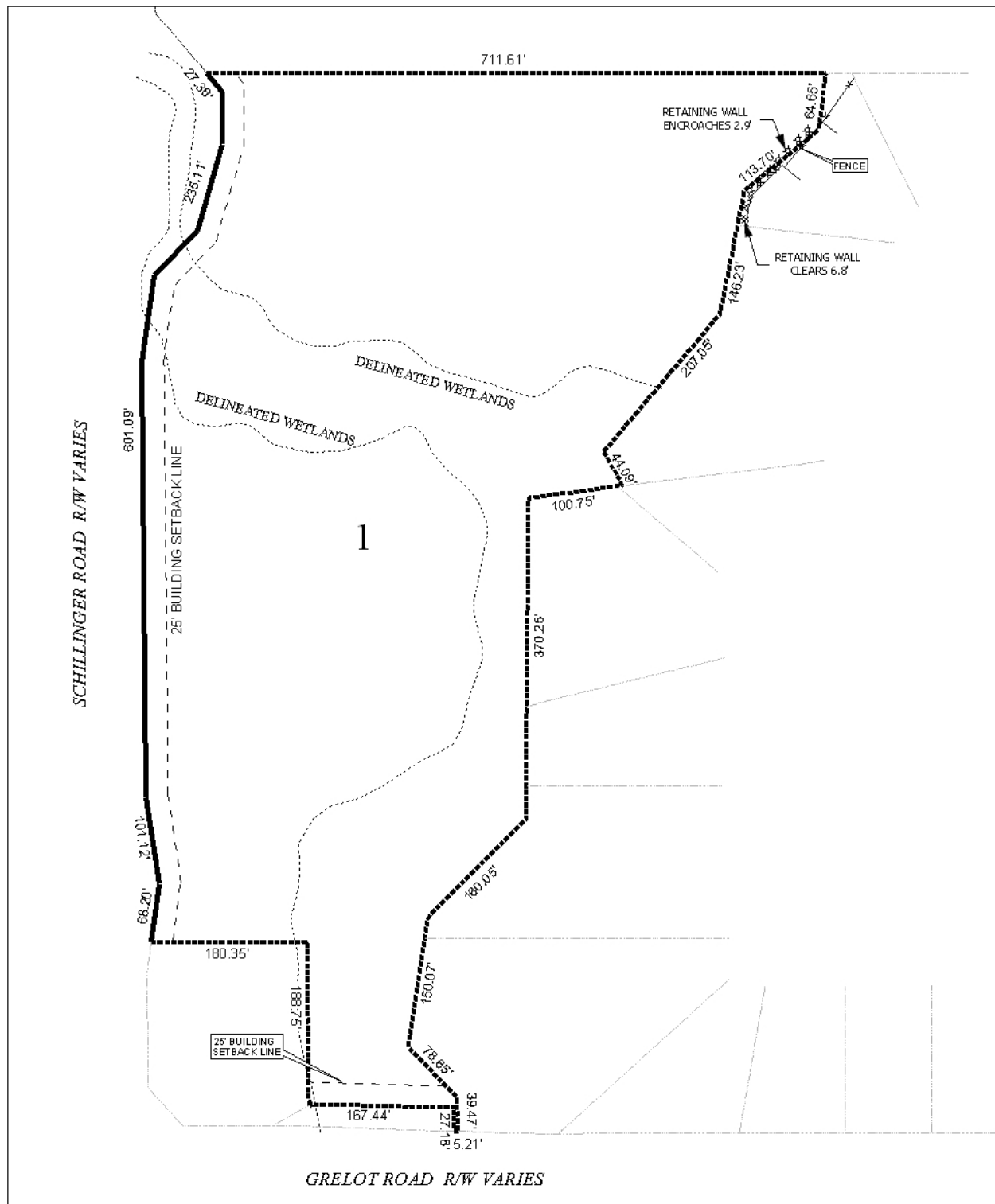
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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# DETAIL SITE PLAN



APPLICATION NUMBER 20 DATE March 6, 2008  
 APPLICANT 233 Joint Venture Subdivision  
 REQUEST Subdivision

