

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: May 7, 2009**

<u>DEVELOPMENT NAME</u>	Northside Ltd/Joint Venture Subdivision
<u>SUBDIVISION NAME</u>	Northside Ltd/Joint Venture Subdivision
<u>LOCATION</u>	3050 Dauphin Street (North side of Dauphin Street, 355'± West of North Sage Avenue, extending to the West side of North Sage Avenue, 180'± North of Dauphin Street)
<u>CITY COUNCIL DISTRICT</u>	District 1
<u>PRESENT ZONING</u>	B-3, Community Business District
<u>AREA OF PROPERTY</u>	3 Lots/8.2± acres
<u>CONTEMPLATED USE</u>	Planned Unit Development approval to allow shared access between two building sites, and Subdivision approval to create three legal lots from three metes and bounds parcels.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediately
<u>ENGINEERING COMMENTS</u>	Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. To discourage cut-through traffic, traffic calming should be installed on the access drive.
<u>URBAN FORESTRY COMMENTS</u>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).
<u>FIRE DEPARTMENT COMMENTS</u>	Per 2003 IFC – 508.5.1 – Fire Hydrants. Per 2003 IFC – Appendix C and D – Fire Hydrant Spacing and Access.

REMARKS

The applicant is requesting Planned Unit Development approval to allow shared access between two building sites, and Subdivision approval to create three legal lots of record from a metes and bounds parcel and a legal lot of record.

The existing site is partially undeveloped; Lot 3A is currently undeveloped, Lot 1A to remain as developed and Lot 2A is proposed for redevelopment.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts onto Dauphin Street, a major street, with a right-of-way illustrated as 122-feet and North Sage Avenue, a minor street, with a right-of-way of 50-feet. All streets meet the required right-of-way widths as required by the Major Street Component of the Comprehensive Plan. Because of the location of the redevelopment, access management is a concern. The development should be limited to two curb-cuts onto the Dauphin Street, one curb cut to North Sage Avenue, with the size, design and location to be approved by Traffic Engineering, and conform to AASHTO standards. As mentioned in Traffic Engineering comments traffic calming devices should be installed to discourage cut through traffic on the access drive.

The site illustrates the proposed development for Lot 2A, which consist of a 3,820 square foot building, and associated parking spaces; however, waste receptacles, such as a dumpster, are not reflected on the site plan, nor sidewalks or trees and landscaped areas. As the proposed development will be new construction, the site must be developed to comply with the Zoning Ordinance, including the provision of trees and landscaping.

The site is not adjacent to residential uses; therefore not subjected to buffer requirements. In order to further minimize the impact of the site on nearby residential uses, any on-premise lighting must comply with Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance; specifically lighting must not shine directly into adjacent residential properties or into traffic, and parking areas must be illuminated during their operation at night, if applicable.

The plat illustrates the lots of adequate size and adequate public right-of-way access to meet the minimum requirements of the Subdivision Regulations. The lot sizes, in square feet, are shown on the preliminary plat and should be retained on the Final Plat, if approved.

The 25-foot minimum building setback lines are depicted on the Final Plat; therefore, the illustration of the 25-foot minimum building setback line is required to be depicted on the Final Plat, if approved.

RECOMMENDATION

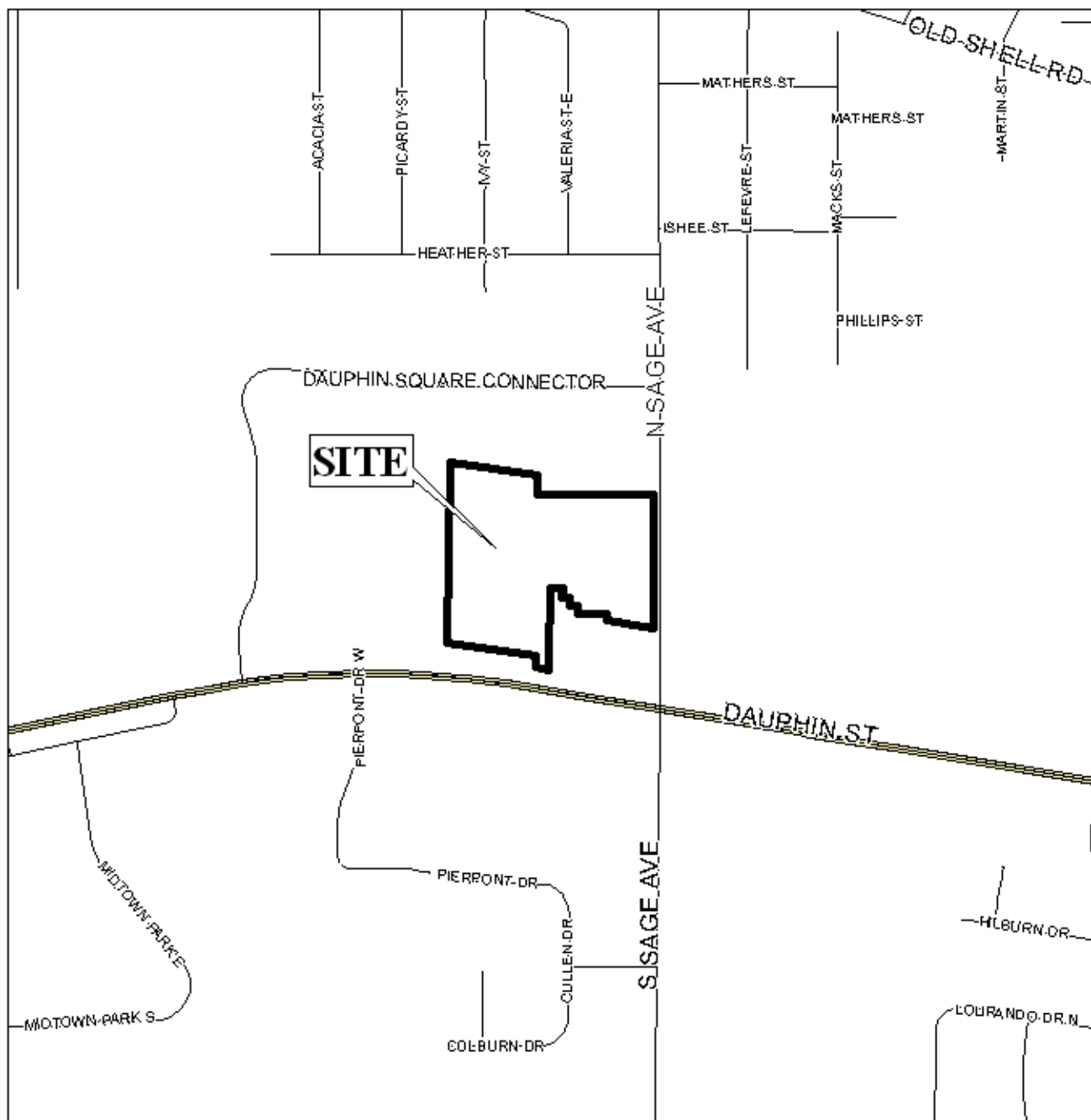
Subdivision: The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions:

- 1) the placement of a note on the Final Plat stating the development be limited to two curb-cuts onto the Dauphin Street, one curb cut to North Sage Avenue, with the size, design and location to be approved by Traffic Engineering, and conform to AASHTO standards;
- 2) the placement of a note on the Final Plat stating that the traffic calming devices to be installed prior to the issuance of a Certificate of Occupancy for any new development within the subdivision; and
- 3) the placement of the 25-foot building setbacks on the Final Plat.

Planned Unit Development: Based upon the preceding, this application is recommended for approval subject to the following conditions:

- 1) the submission of full Planned Unit Development applications prior to the development of Lots 1A and 3A;
- 2) the submission of a revised PUD site plan with the placement of a note stating that the traffic calming devices to be installed prior to the issuance of a Certificate of Occupancy for any new development within the subdivision; and
- 3) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



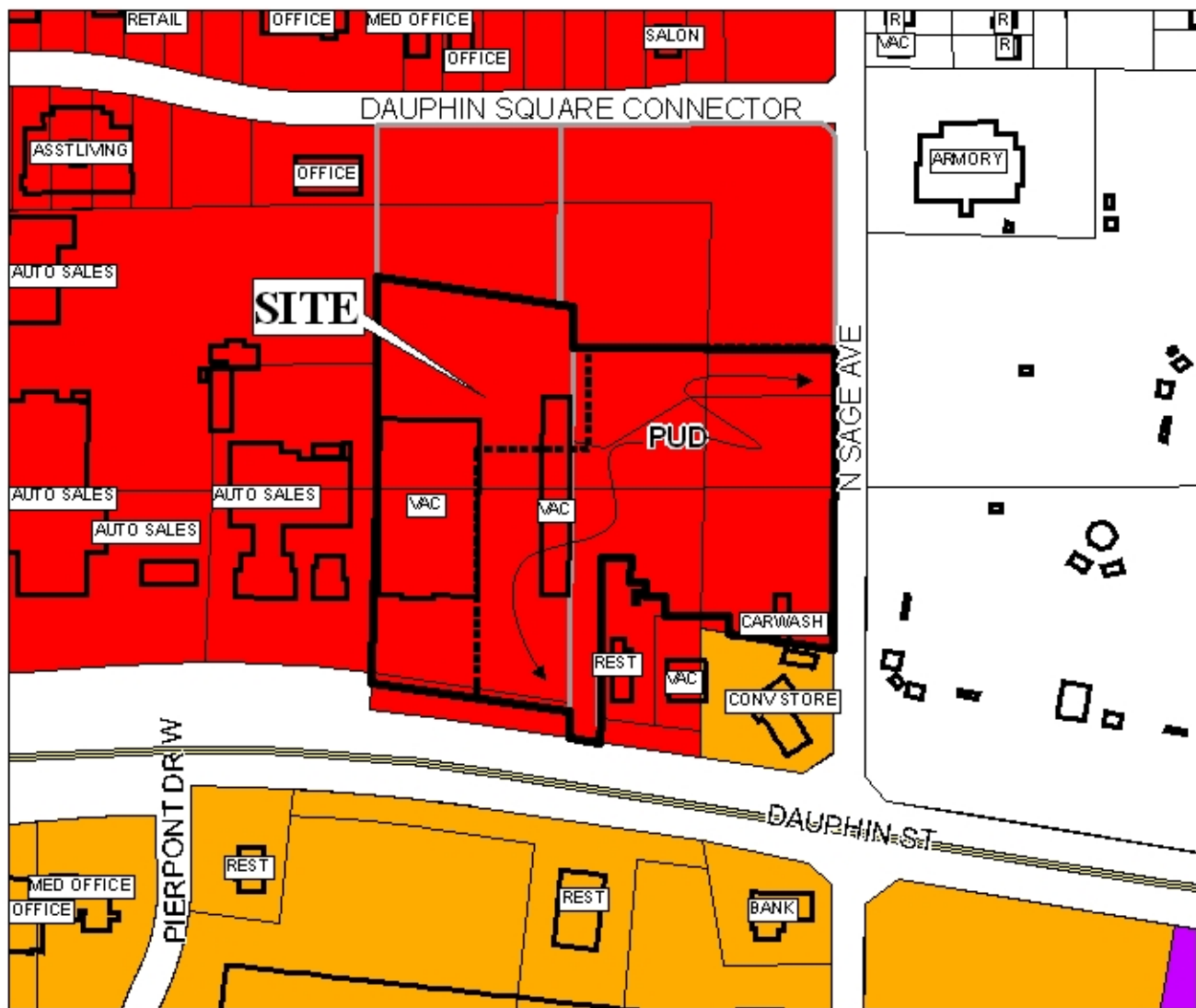
APPLICATION NUMBER 20 & 21 DATE May 7, 2009

APPLICANT Northside Ltd / Joint Venture Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Commercial land use is located to the north and south of the site. A park is located to the east of the site.

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LEGEND

R-1	R-2	R-3	R-4	R-5	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

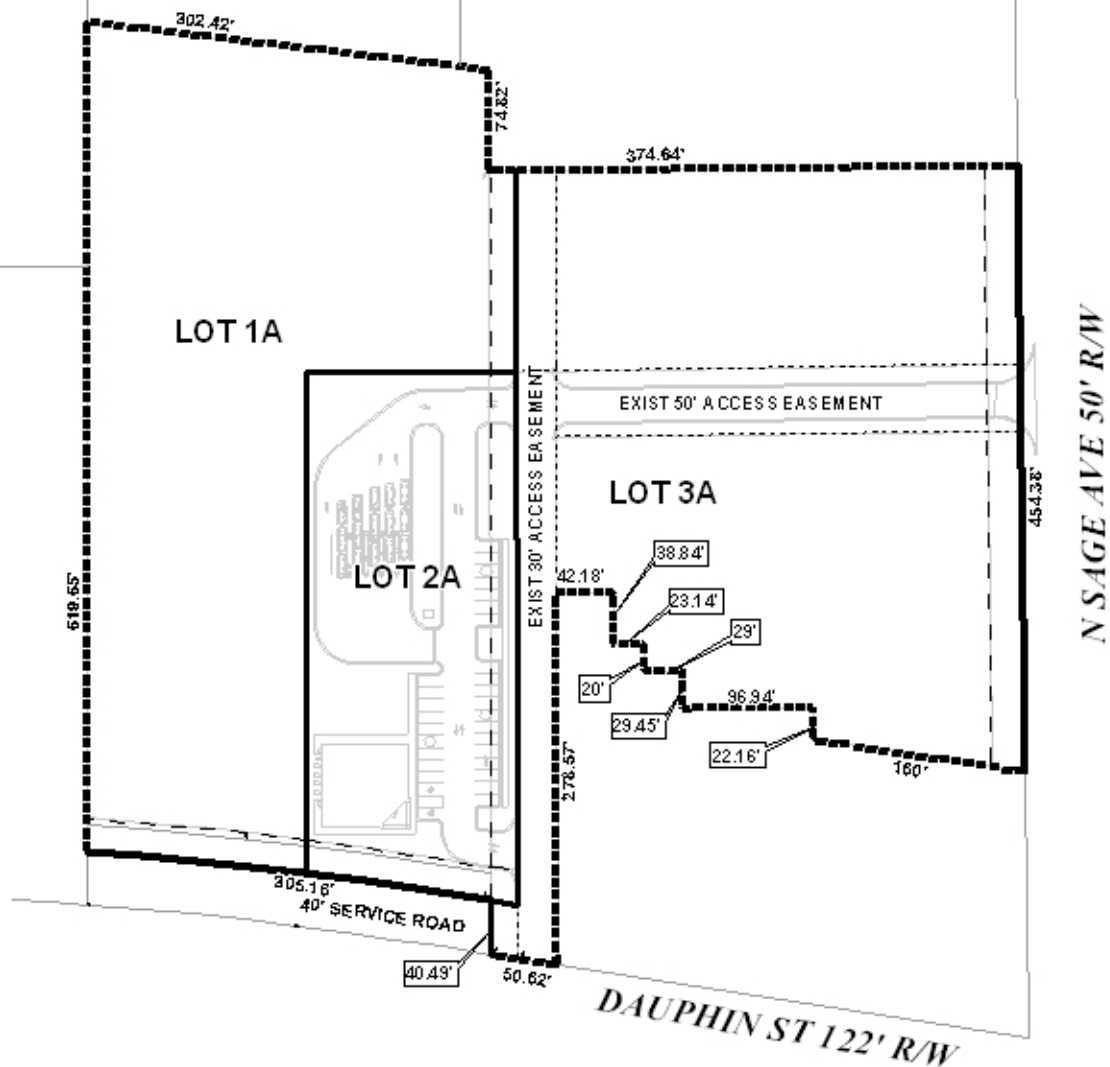


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DETAIL SITE PLAN



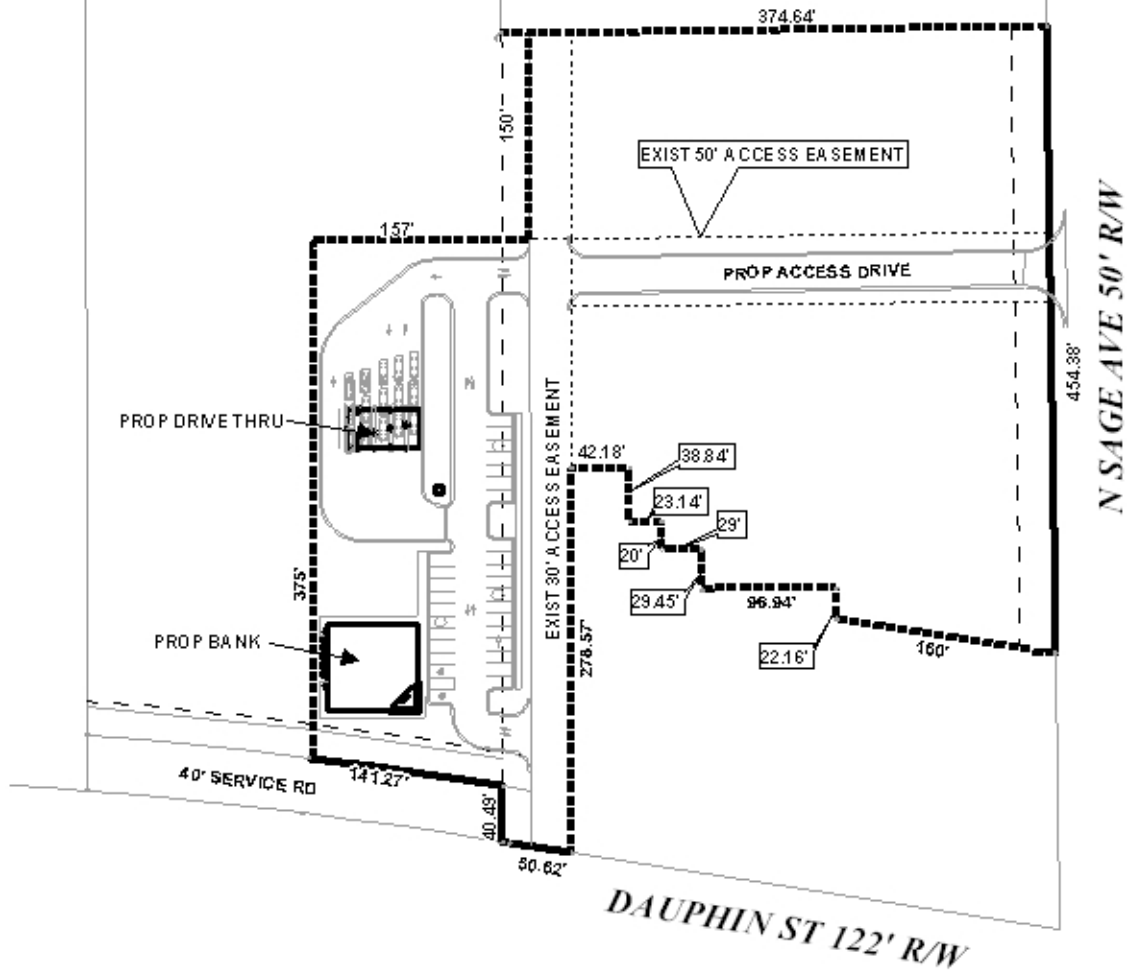
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SITE PLAN



The site plan illustrates the proposed banking facility, access drive, and parking

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