

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: November 5, 2009**

DEVELOPMENT NAME Kingswood Subdivision, Blankenships Addition to,
Resubdivision of Lots B & C

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Resubdivision of Lots B & C

LOCATION 4584 Hawthorne Place
(Northeast corner of Hawthorne Place and Hawthorne
Place North)

**CITY COUNCIL
DISTRICT** District 5

PRESENT ZONING R-1, Single-Family Residential

AREA OF PROPERTY 2 Lots / 0.6± Acre

CONTEMPLATED USE Two-lot residential subdivision and Planned Unit
Development Approval to allow reduced side yard setbacks within a single-family residential
development.

**TIME SCHEDULE
FOR DEVELOPMENT** Immediately

**ENGINEERING
COMMENTS** Must comply with all storm water and flood control
ordinances. Due to narrow lot widths and a history of localized drainage problems in the
immediate area, drainage from these lots cannot cross adjacent property lines and must be
conveyed to Hawthorne Place unless a release agreement or private drainage easement is
provided by all affected downgrade properties. A land disturbance permit will be required to
include a drainage review by City Engineering and may require detention if the increase in
impervious area exceeds each lot's allotment of historical credit. Any work performed in the
right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS** Driveway number, size, location, and design to be
approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is requesting a two-lot residential subdivision and Planned Unit Development Approval to allow reduced side yard setbacks within a single-family residential development.

These two lots were two of the three lot subdivision originally approved by the Planning Commission at its April 2, 2009 meeting. The following conditions were placed on the subdivision approval:

- 1) placement of a note on the Final Plat stating that each lot is limited to one curb-cut each, with the size, design and location to be approved by Traffic Engineering and in compliance with AASHTO standards;
- 2) depiction of the 25-foot minimum building setback line on the Final Plat;
- 3) depiction of the side and rear yard setbacks required by the Zoning Ordinance; and
- 4) depiction of the size of each lot in square feet on the Final Plat.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

A dwelling and accessory structure currently exist straddling lots B & C. The applicant desires to build a single-family residence on Lot B and sell Lot C. As previously mentioned the approved subdivision was required to depict side and rear yard setbacks as required by the Zoning Ordinance, which in this case was to provide 8-feet on one side yard and 12-feet on the other side yard. To change a probated Final Plat it must be amended, the two lots must be

resubdivided to amend the setbacks as required by the previously approved subdivision, and an associated PUD must also be submitted.

The proposed Planned Unit Development (PUD) would allow 5-foot setbacks on each side of both lots. However, the Commission does not approve the reduction of side yard setbacks less than 8-feet on the exterior boundaries (side yard) of the Planned Unit Development (PUD) to protect the integrity of the adjacent R-1, Single-Family Residential district. It should be noted that the 35% site coverage allowed by right in R-1 districts would not change.

The proposed lots will exceed the depth to width ratio recommended by Section V.D.3. of the Subdivision Regulations, therefore, it should also be pointed out that lots exceeding the recommended depth to width ratio are not common within this area. However, there is no change in the width to depth ratio as what was approved previously; thus a waiver of Section V.D.3. may be appropriate.

A note should be added to the site plan and Final Plat stating that HVAC equipment and emergency generators 3' high or higher must meet the side and rear yard setback requirements.

Two copies of the revised PUD site plan should be submitted to the Planning Section of Urban Development prior to the signing of any Subdivision plat.

RECOMMENDATION **Planned Unit Development:** Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) completion of the Subdivision process;
- 2) placement of a note on the site plan specifying the front, side and rear yard setbacks, to comply the Planned Unit Development (PUD) and Subdivision, amended to require Lots B & C to maintain a 8-foot side yard setback along the exterior perimeter of the Planned Unit Development (PUD);
- 3) placement of a note on the site plan stating that HVAC equipment and emergency generators 3' high or higher must meet setback requirements;
- 4) provision of two (2) revised Planned Unit Development (PUD) site plans to the Planning Section of Urban Development prior to the signing of the Final Plat;
- 5) full compliance with all other municipal codes and ordinances; and
- 6) subject to the Engineering Comments: *(Must comply with all storm water and flood control ordinances. Due to narrow lot widths and a history of localized drainage problems in the immediate area, drainage from these lots cannot cross adjacent property lines and must be conveyed to Hawthorne Pl unless a release agreement or private drainage easement is provided by all affected downgrade properties. A land disturbance permit will be required to include a drainage review by City Engineering and may require detention if the increase in impervious area exceeds each lot's allotment of historical credit. Any work performed in the right of way will require a right of way permit).*

Subdivision: With a waiver of Section V.D.3., the plat is recommended for Tentative Approval, subject to the following conditions:

- 1) provision of two (2) revised PUD site plans to the Planning Section of Urban Development prior to the signing of the Subdivision plat;
- 2) placement of a note on the site plan specifying the front, side and rear yard setbacks, to comply the Planned Unit Development (PUD) and Subdivision, amended to require Lots B & C to maintain a 8-foot side yard setback along the exterior perimeter of the Planned Unit Development (PUD);
- 3) placement of a note on the plat stating that HVAC equipment and emergency generators 3' high or higher must meet setback requirements; and
- 4) subject to the Engineering Comments: *(Must comply with all storm water and flood control ordinances. Due to narrow lot widths and a history of localized drainage problems in the immediate area, drainage from these lots cannot cross adjacent property lines and must be conveyed to Hawthorne Pl unless a release agreement or private drainage easement is provided by all affected downgrade properties. A land disturbance permit will be required to include a drainage review by City Engineering and may require detention if the increase in impervious area exceeds each lot's allotment of historical credit. Any work performed in the right of way will require a right of way permit).*

LOCATOR MAP



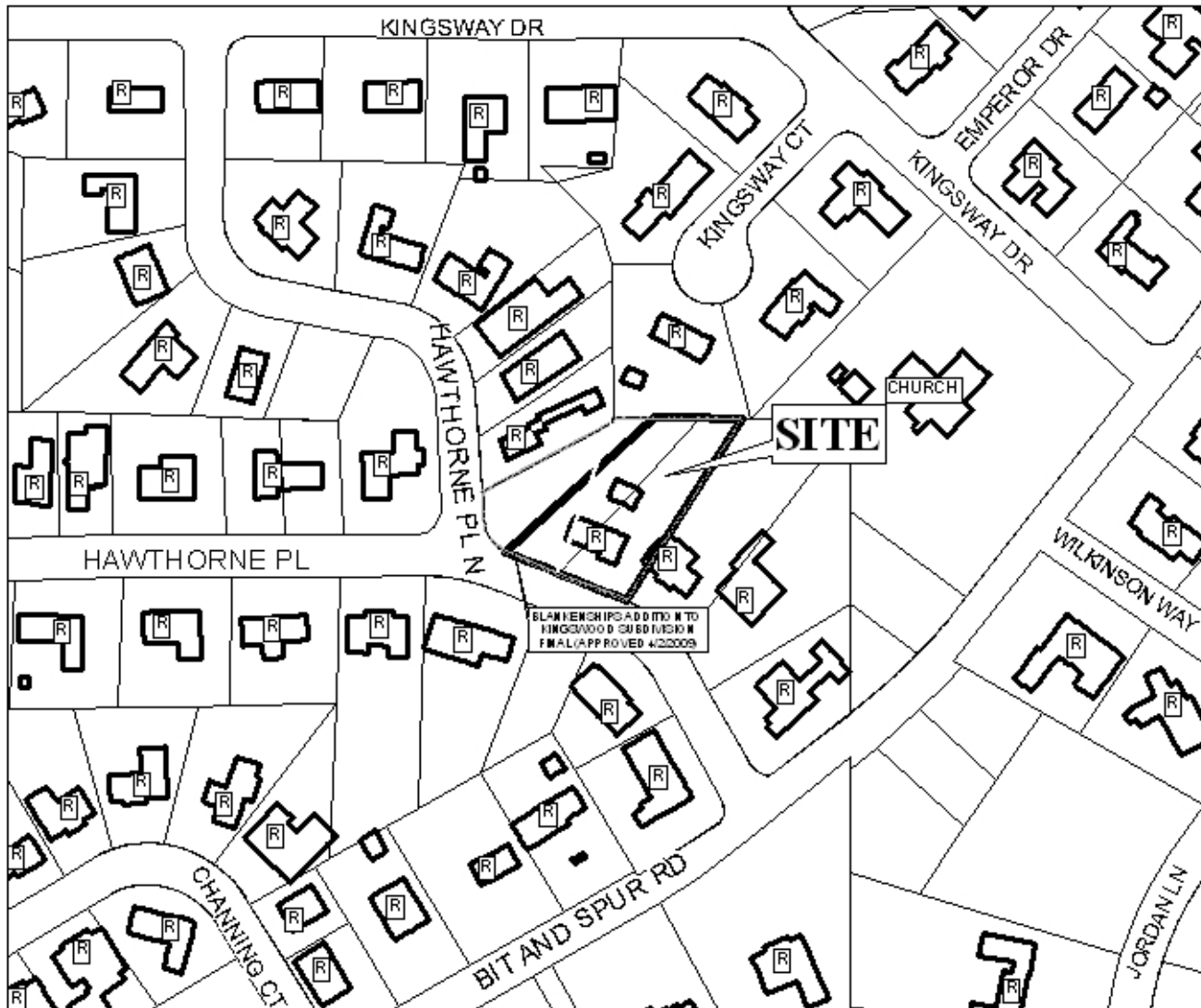
APPLICATION NUMBER 20 & 21 DATE November 5, 2009

Kingswood Subdivision, Blankenships Addition to, Resubdivision
APPLICANT of Lots B & C

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units.

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LEGEND

R-1

R-2

R-3

R-4

R-B

H-B

T-B

B-1

LB-2

B-2

B-3

B-4

B-5

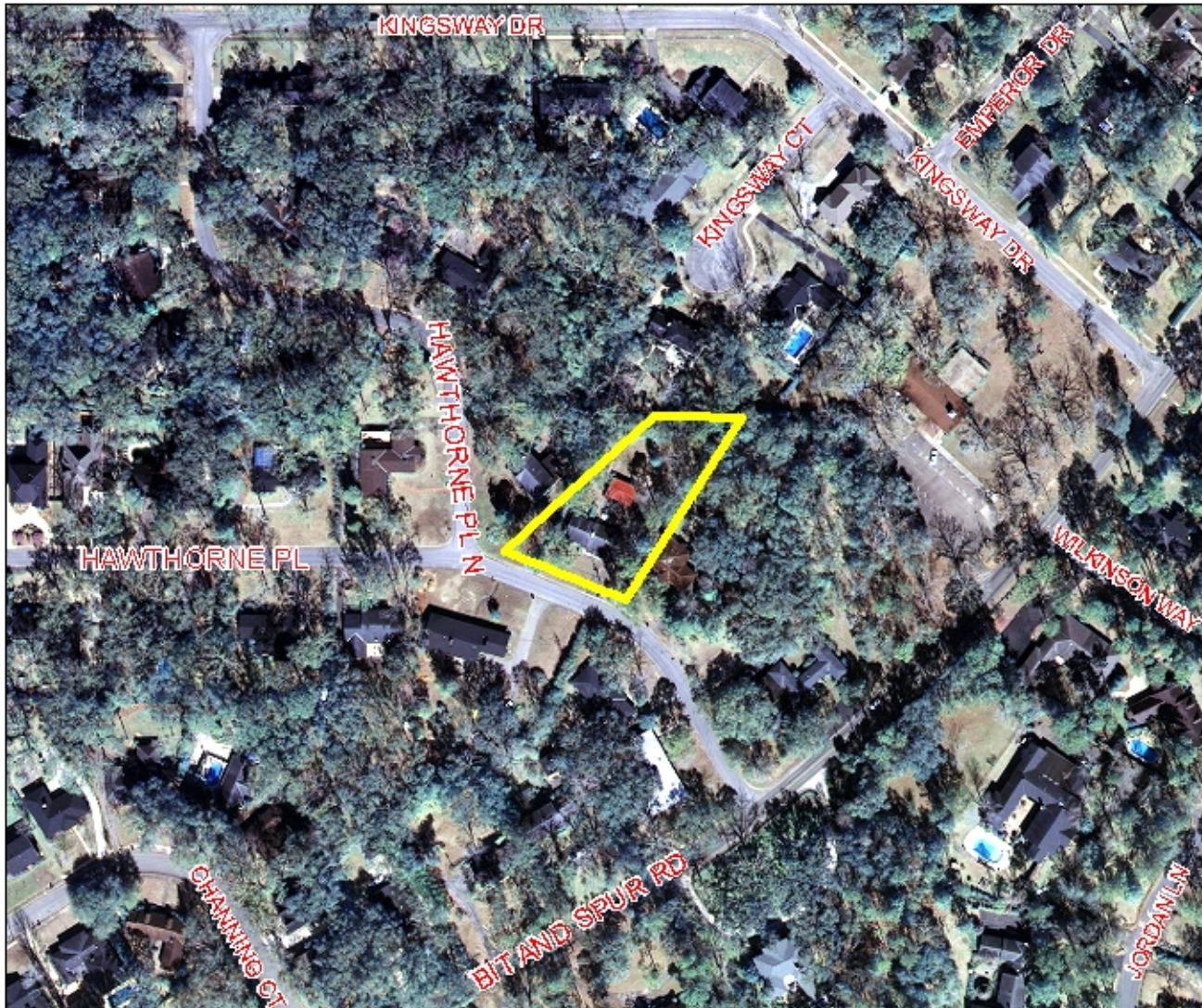
I-1

I-2



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units.

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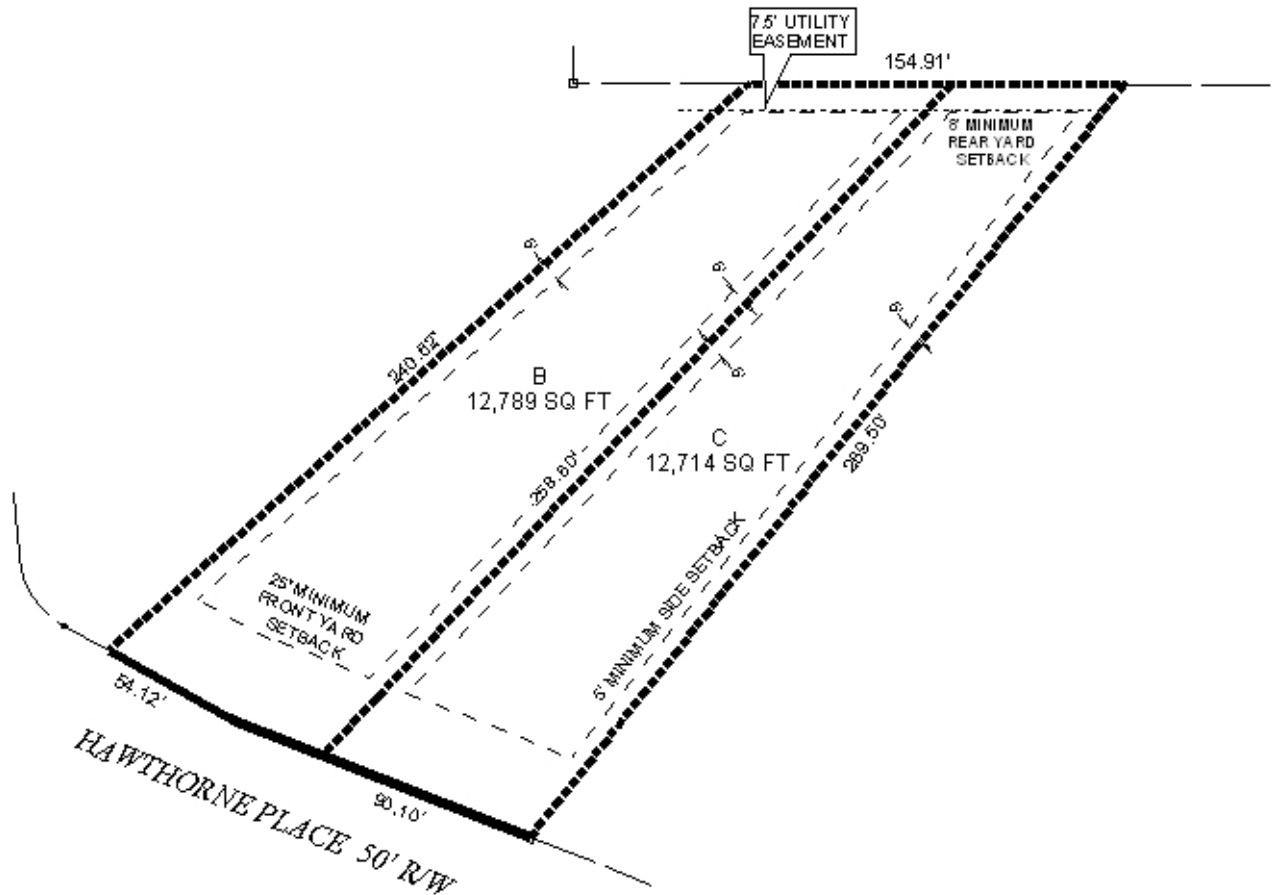
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N
NTS

SITE PLAN



The site plan illustrates the setbacks, easements, and proposed lot lines.

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NTS