

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: January 15, 2015**

<u>DEVELOPMENT NAME</u>	Springhill Memorial Subdivision, Resubdivision of Lot A
<u>SUBDIVISION NAME</u>	Springhill Memorial Subdivision, Resubdivision of Lot A
<u>LOCATION</u>	3719 Dauphin Street (South side of Dauphin Street at West I-65 Service Road South)
<u>CITY COUNCIL DISTRICT</u>	District 5
<u>AREA OF PROPERTY</u>	2 Lots / 10.9 ± acres (Subdivision) 7 Lots / 37.2 ± acres (Planned Unit Development)
<u>CONTEMPLATED USE</u>	Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site, and Subdivision approval to create 2 lots.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Not specified
<u>ENGINEERING COMMENTS</u>	

Subdivision: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Label I-65 in the vicinity map.
- B. Show and label the MFFE (Minimum Finished Floor Elevation) LOT 1A.
- C. Label the monument set or found at each subdivision corner.
- D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- F. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Planned Unit Development:

1. According to the FEMA flood map information, this property is located within a Special Flood Hazard Area. You will need to show and label the flood hazard area(s) on your plat and plans. Also, you will need to list the Minimum Finished Floor Elevation (MFFE) for each lot 1-6.

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The proposed development must comply with all Engineering Department Policy Letters.

TRAFFIC ENGINEERING**COMMENTS**

Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and confirm to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site, and Subdivision approval to create 2 lots. The site is located in Council District 5, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create two lots, and to amend an existing PUD site plan to allow for the expansion of an emergency room facility at an existing hospital and medical office complex. The expansion of the emergency room facility and the associated site improvements around the facility will improve ambulance and vehicular circulation.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

It should be noted that the PUD site plan does not include the entirety of the Orthopedic Center Subdivision lot, recorded in Map Book 101, Page 99. Therefore the site plan should be revised to depict the entirety of the lot and associated improvements.

The site was last before the Planning Commission at its July 21, 2011 meeting, where the Commission approved a 9,000 \pm square foot expansion of an existing building.

The overall Spring Hill Memorial Hospital complex contains a 252 bed hospital, five medical office buildings, a nursing home and an auditorium. Information on the site plan indicates that a total of 1,791 parking spaces are required to comply with the parking ratios contained within the Zoning Ordinance, while 1,958 parking spaces are provided within the entire PUD site. The applicant notes that the expanded emergency room, ambulance area and drop off will result in the loss of 6 parking spaces, however, no additional parking will be required as part of this application due to the existing excess of parking spaces.

Regarding the proposed two-lot Subdivision, the applicant is dividing the property to exclude the main hospital building from the adjacent flood zone of a drainage canal associated with Eslava Creek. Thus proposed Lot A1 will contain the flood zone, and proposed Lot A2 will be outside of the flood zone. As the lots are already developed, including associated curb-cuts to Dauphin Street and the service road for Dauphin Street, the lots should be limited to their existing curb-cuts, with any changes to the size, design or location to be approved by Traffic Engineering, conform to AASHTO standards, and if substantial enough, to require a new PUD application.

Dumpsters are not clearly depicted on the site plan. If any new dumpsters are placed on the overall PUD site, or if existing dumpsters are relocated, they must comply with the enclosure and sanitary sewer connection requirements of Section 64-4.D.9. of the Zoning Ordinance.

As previously mentioned, a portion of the site appears to be located in flood zones associated with an adjacent drainage canal branch of Eslava Creek. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the final plat stated that Lots A1 and A2 are limited to their existing curb-cuts, with any changes to the size, design or location to be approved by Traffic Engineering, conform to AASHTO standards;
- 2) Approval of all applicable federal, state and local agencies regarding flood zone issues prior to the issuance of any permits or land disturbance activities
- 3) Compliance with Engineering comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Label I-65 in the vicinity map. B. Show and label the MFFE (Minimum Finished Floor Elevation) LOT 1A. C. Label the monument set or found at each subdivision corner. D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. F. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.*);
- 4) Compliance with Traffic Engineering comments (*Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and confirm to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 5) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*);
- 6) Compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*); and
- 7) Provision of a revised PUD site plan prior to the signing of the final plat.

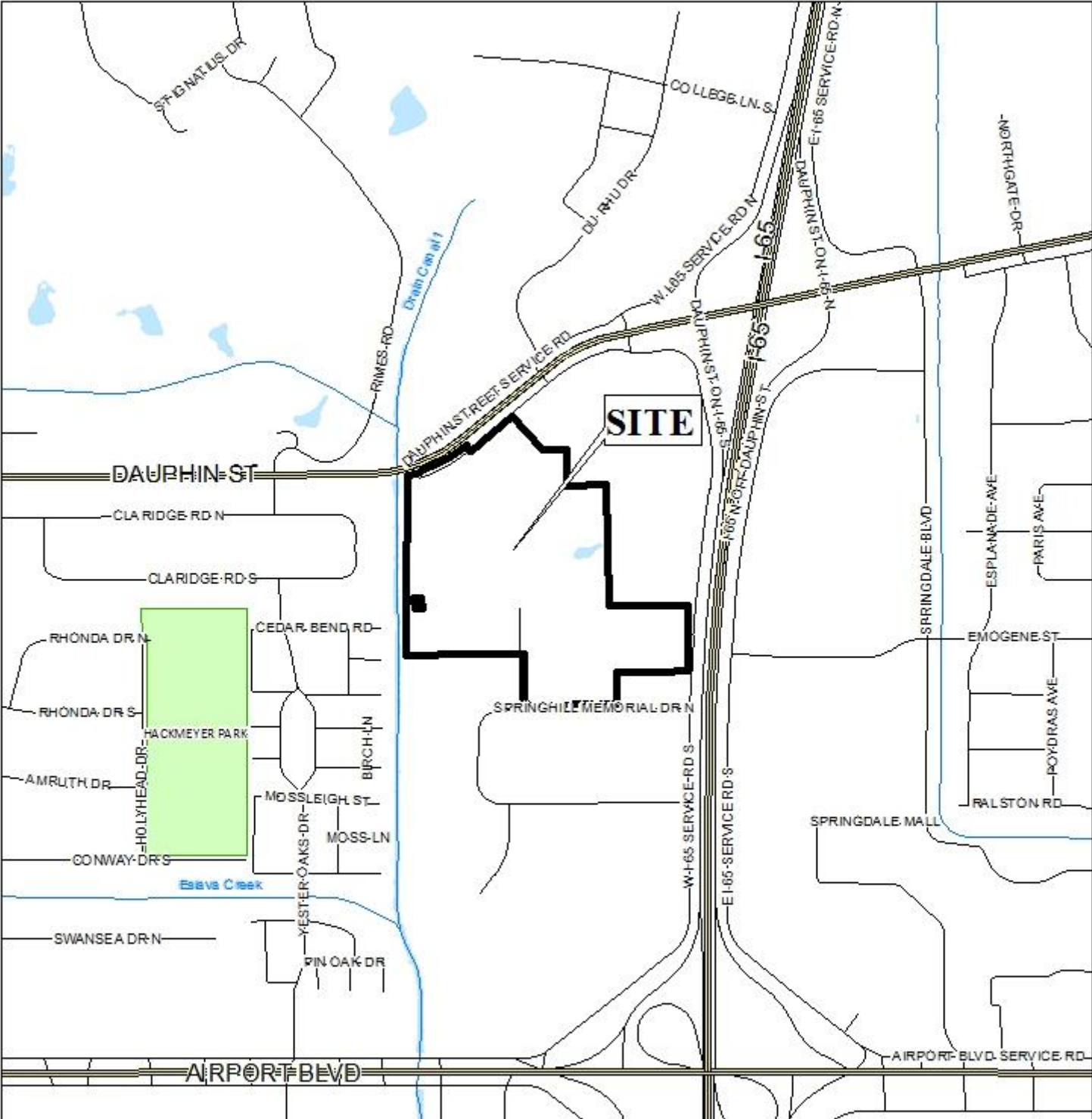
Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) Revision of the PUD site plan to include the entirety of the Orthopedic Center Subdivision lot, recorded in Map Book 101, Page 99, including the associated parking and landscape areas;
- 2) Revision of the PUD site plan parking calculations to include the loss of parking spaces due to the emergency room area modifications, and the additional parking provided via condition number 1;
- 3) If any new dumpsters are placed on the overall PUD site, or if existing dumpsters are relocated, they must comply with the enclosure and sanitary sewer connection requirements of Section 64-4.D.9. of the Zoning Ordinance;
- 4) Compliance with Engineering comments (*1. According to the FEMA flood map information, this property is located within a Special Flood Hazard Area. You will need to show and label the flood hazard area(s) on your plat and plans. Also, you will need to list the Minimum Finished Floor Elevation (MFFE) for each lot 1-6. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage,*

irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The proposed development must comply with all Engineering Department Policy Letters.);

- 5) Compliance with Traffic Engineering comments (Site is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and confirm to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 6) Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 7) Compliance with Fire comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.); and*
- 8) Provision of a revised PUD site plan prior to the signing of the final plat.*

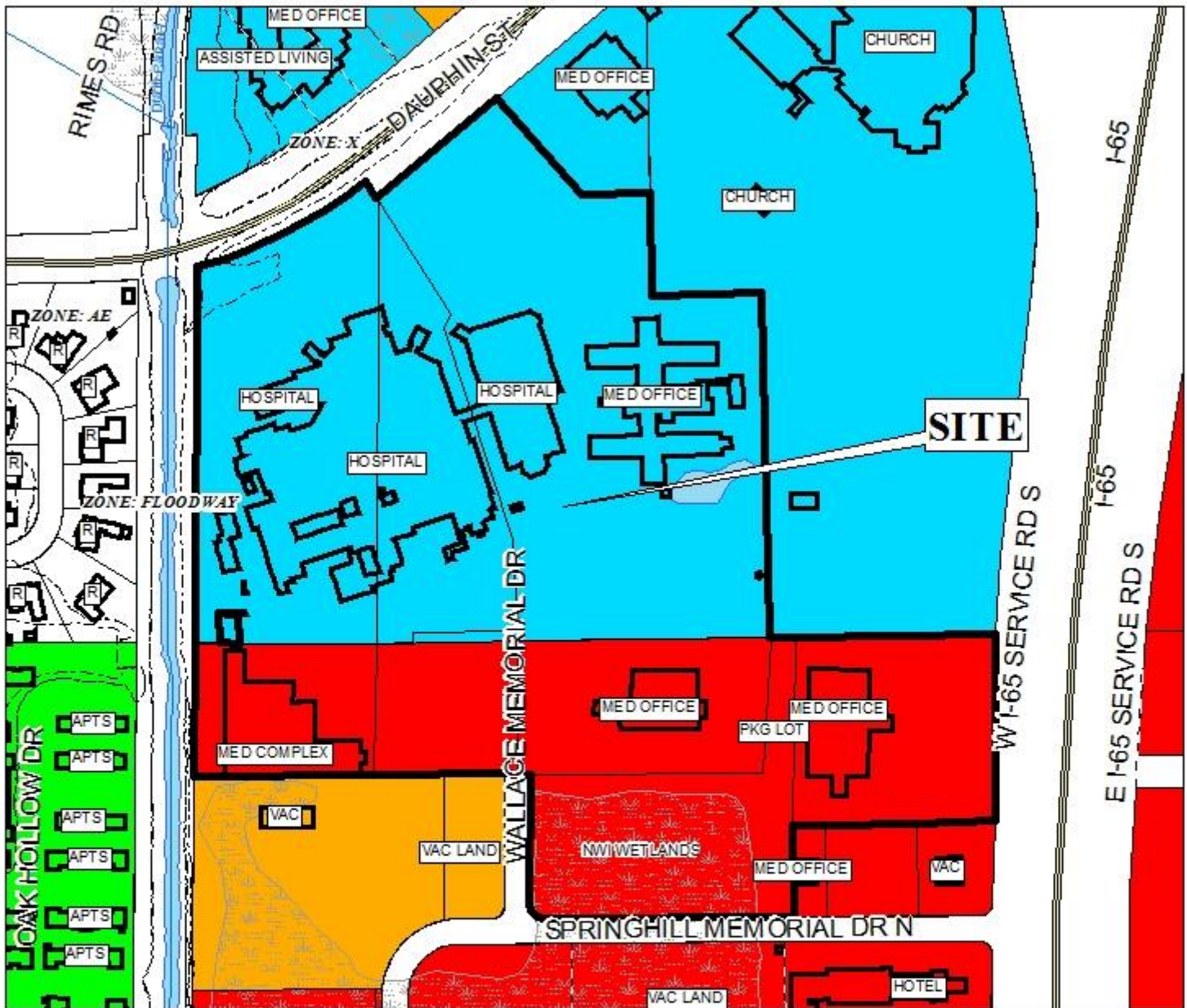
LOCATOR MAP



APPLICATION NUMBER 20 DATE January 15, 2015
 APPLICANT Springhill Memorial Subdivision, Resubdivision of Lot A
 REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



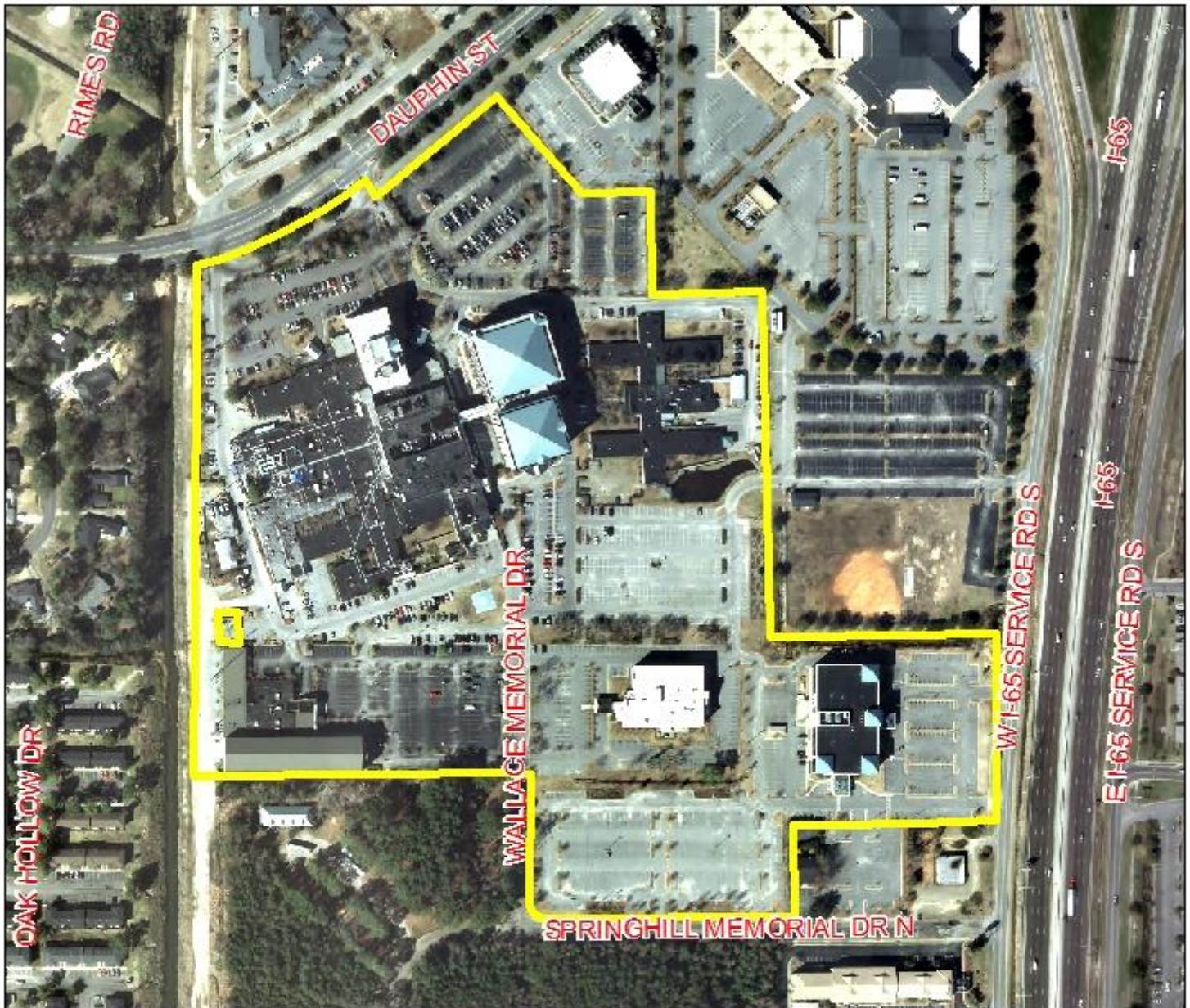
The site is surrounded by residential units to the west, and medical units to east.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

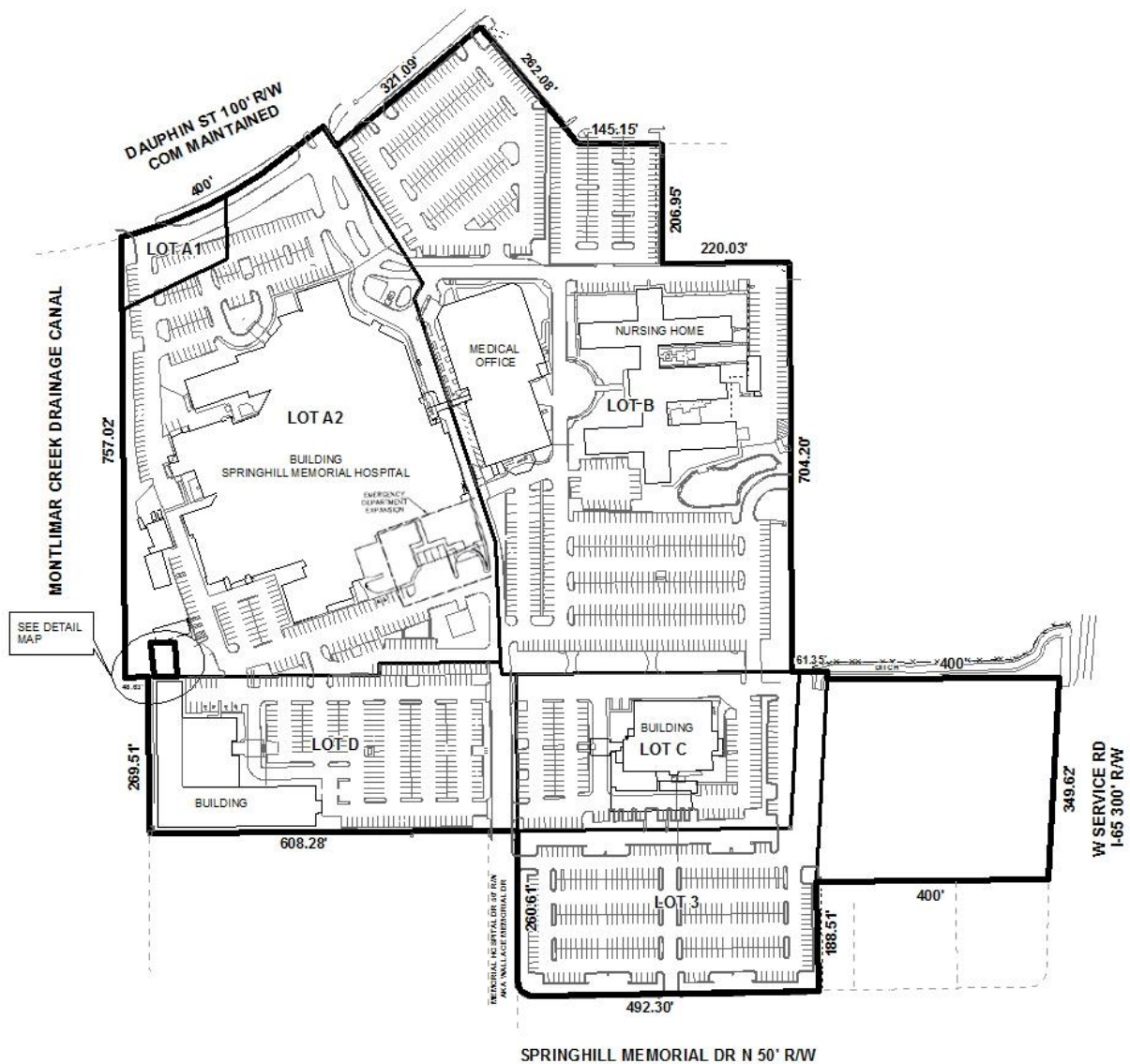


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SITE PLAN

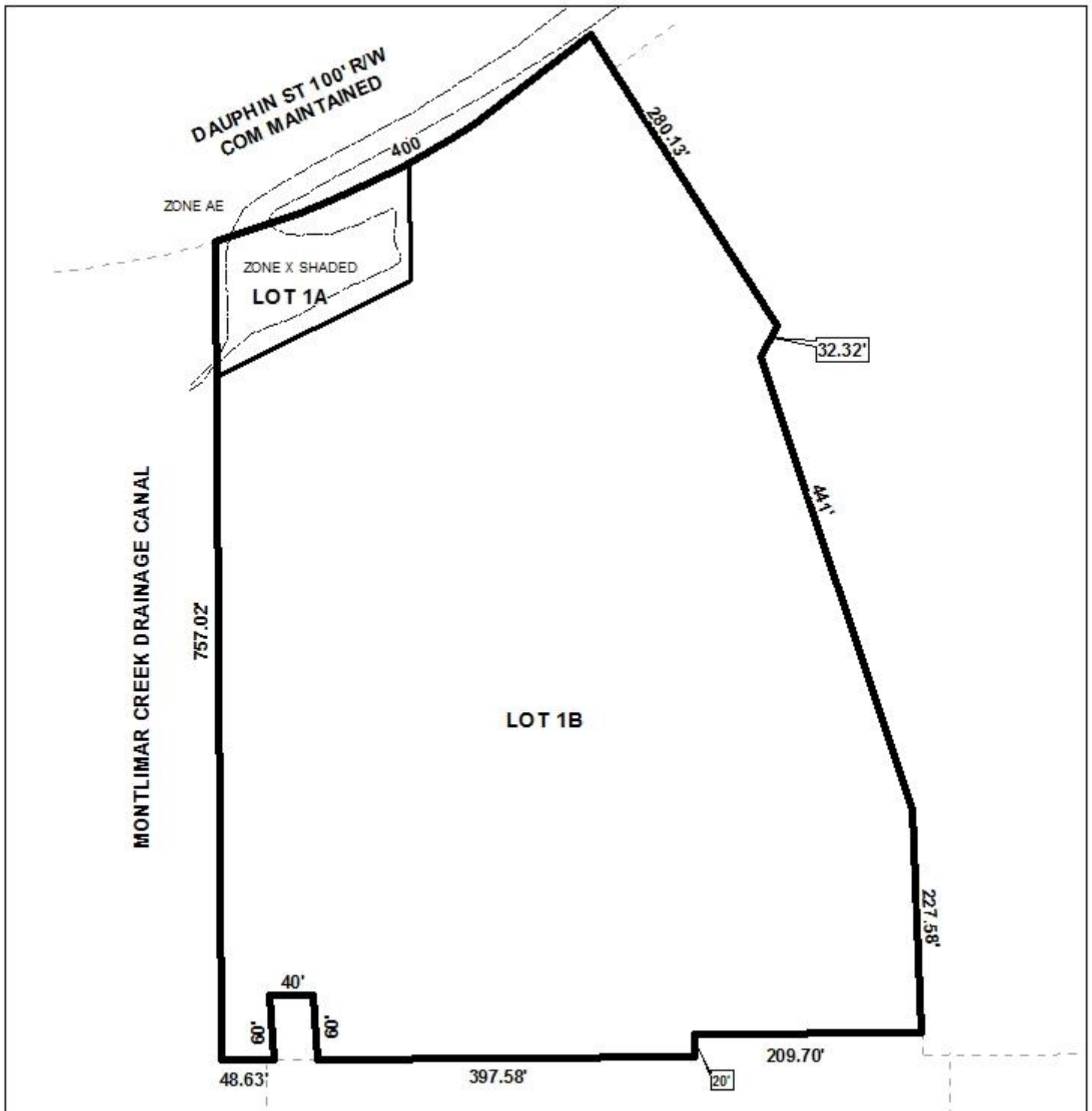


The site illustrates the existing buildings, and lots.

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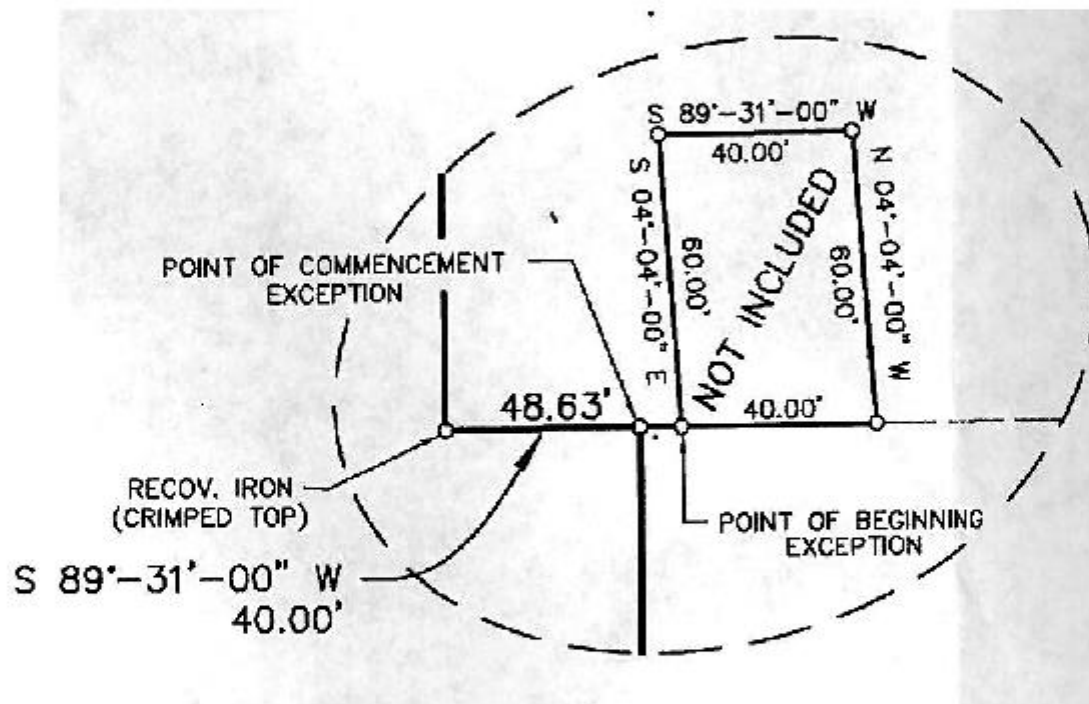
DETAIL SITE PLAN



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