

**SUBDIVISION, PLANNED UNIT  
DEVELOPMENT & SIDEWALK WAIVER  
REQUEST STAFF REPORT****Date: September 6, 2012**

<b><u>NAME</u></b>	Chipco Industrial Park, Blakeley Island Subdivision
<b><u>SUBDIVISION NAME</u></b>	Chipco Industrial Park, Blakeley Island Subdivision
<b><u>LOCATION</u></b>	581 Cochrane Causeway (West side of Cochrane Causeway, 3/4± mile North of Bankhead Tunnel)
<b><u>CITY COUNCIL DISTRICT</u></b>	District 2
<b><u>PRESENT ZONING</u></b>	I-2, Heavy Industry District
<b><u>AREA OF PROPERTY</u></b>	2 Lots/37.1± Acres
<b><u>CONTEMPLATED USE</u></b>	<i>Subdivision</i> approval to create two legal lots of record, <i>Planned Unit Development</i> approval to allow multiple buildings on multiple building sites with shared access between building sites and <i>Sidewalk Waiver</i> approval to waive construction of sidewalks along Cochrane Causeway.
<b><u>TIME SCHEDULE</u></b>	None Specified

**ENGINEERING  
COMMENTS**

Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Any and all proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.

*Sidewalk Waiver:* The Engineering Department concurs with the request to approve a Sidewalk Waiver at this location.

## **TRAFFIC ENGINEERING**

### **COMMENTS**

This site is located on an ALDOT maintained roadway. Driveway number, size, location and design to be approved by ALDOT and Traffic Engineering, and conform to AASHTO standards. Based on the nature of the roadway, Traffic Engineering supports the approval of a sidewalk waiver.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

## **REMARKS**

The applicant is requesting Subdivision approval to create two legal lots of record from three metes and bounds parcels, Planned Unit Development approval to allow multiple buildings on multiple building sites with shared access between building sites, and Sidewalk Waiver approval to waive construction of sidewalks along Cochrane Causeway.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts Cochrane Causeway (US Highway 90), a planned major street which has an existing right-of-way of 120-feet, including a 30-foot vacated railroad right-of-way; therefore, providing 80-feet from the centerline of Cochrane Causeway. The Major Street Plan component

of the Comprehensive Plan calls for 100-feet of right-of-way; thus, the site has adequate right-of-way.

Access for the site should be limited to the existing curb-cuts along Cochrane Causeway with size, design and location of any new or revised curb-cuts to be approved by Traffic Engineering, and should comply with AASHTO standards.

To the rear of the site is Mobile River and as such the area may be considered environmentally sensitive; thus the approval of all applicable federal, state and local agencies would be required.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Dumpster locations for the site are not depicted on the site plan to comply with Section 64-4.D.9. of the Zoning Ordinance; therefore, the applicant should make a provision for dumpster locations and place a note on the site plan stating that dumpsters will be completely screened from view. If dumpsters will not be used, provide a statement indicating such, and how garbage will be removed from the site.

The 25-foot minimum building setback line is not depicted on the plat along Cochrane Causeway within the proposed building sites; therefore, the preliminary plat should be revised to show the 25-foot setback line along Cochrane Causeway within the proposed building site.

The Final Plat should also provide the labeling of the lots with its size in square feet/acres, or placement of a table on the plat with the same information

As depicted on the PUD site plan no changes are proposed to each site; however, the PUD and the Sidewalk Waiver applications were mandated due to the applicant creating two legal lots of record from three metes and bounds parcels, and thus requires a PUD.

The applicant attached a letter with the applications stating a concern that the tree requirements of the Zoning Ordinance may pose problems. To comply with the Homeland Security and Coast Guard regulations such as: under NVIC 11-02, Access Control & Restricted Area Guidelines, a fence be a minimum of 7-feet high with an additional one-foot top guard for a total minimum of 8-feet. In addition, the fence must have 12-feet of clearance on both sides of the fence of all trees, debris, and high grass to prevent a breach of security at the facility.

This is not the first time staff has dealt with these types of situations, in other situations staff considers the clearance zone into the setback equation, simply adding enough setback in this case 12-feet, to provide for the clearance requirements of Homeland Security and the Coast Guard.

Another issue that should be pointed out, but could be considered non-critical to the development of the site(s) is landscaping. The applicant provides landscaping and tree plans of the existing site, the plan illustrates full compliance with the tree planting regulations; however, the site is

short in the total and front landscaping percentages of the Zoning Ordinance. The site is 37.1+ acres; therefore, 12 percent of the **total** site must be landscaped, of this 12 percent, 60 percent of the landscaping must be located between the building and the right-of-way. On the majority of commercial developments, this would be an issue; however, on large industrial developments such as this and others along Cochrane Causeway, it can be due to the close proximity of the Mobile River and the type of services provided at these locations. It is recommended that the site be allowed to provide the existing landscaping, due to the nature of the site. Therefore, the site plan should be revised to reflect the existing landscaping and frontage landscaping square footage and percentages. It should also be noted that the as site is zoned I-2, **ONLY** frontage trees are required.

Regarding the Sidewalk Waiver request the applicant states that Blakely Island has only industrial sites and no residential housing. The applicant also states that there are no existing sidewalks on Blakely Island.

With regard to the applicant's request, not having sidewalks on Blakely Island does not negate the fact that a sidewalk is required by the Zoning Ordinance. It should be noted that an analysis of GIS shows that there are no sidewalks in the vicinity of the site, and that between January 2003 to present date seven sidewalk waiver applications have been applied for and ALL were approved for a waiver of the sidewalks on Cochrane Causeway. Also, the Commission approved a sidewalk waiver request just South of the site in April 2005. It has been the policy of the Commission to approve sidewalk waivers only in cases where there was an engineering reason or physical barrier that made installation of the sidewalk impracticable. In this instance, City Engineering has determined that due to existing open drainage system, approval of sidewalk waiver is required.

### **RECOMMENDATION**

**Subdivision:** Based upon the preceding, this application is recommended for tentative approval subject to the following conditions:

- 1) the placement of the lot sizes in both square feet and acres on the Final Plat, or the furnishing of a table on the Final Plat providing the same information;
- 2) retention of the 25' minimum building setback line on the Final Plat;
- 3) placement of a note on the Final Plat stating that each lot is limited to two (2) curb cuts, with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 5) subject to the Engineering comments: *(Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Any and all*

*proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.); and*

- 6) compliance with Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile).*

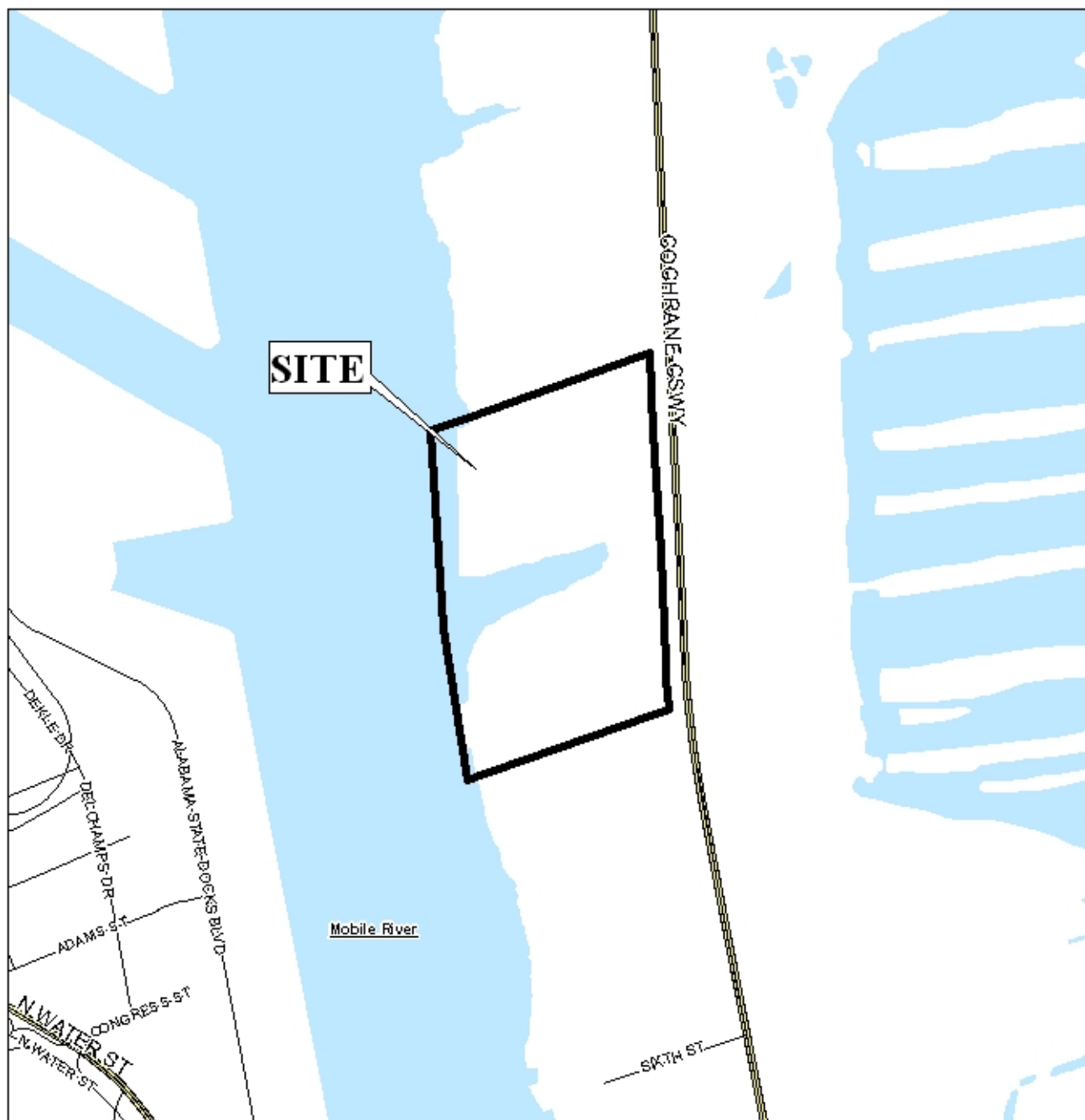
**Planned Unit Development:** Based upon the preceding, this application is recommended for approval subject to the following conditions:

- 1) revision of the site plan to illustrate the 25' minimum building setback line along Cochrane Causeway;
- 2) revision of the site plan to provide the location of the required trees, providing the required spacing to allow for compliance with Homeland Security and the Coast Guard standards, to be coordinated with Urban Development;
- 3) revision of the site plan to provide the existing total and frontage landscaping square feet and percentages;
- 4) revision of the site plan to provide a dumpster, in compliance with Section 64-4.D.9. of the Zoning Ordinance, or the placement of a note on the site plan stating that trash collection will be curb-side or via private pick-up service;
- 5) labeling of any required detention area as common area and the placement of a note on the site plan stating that the maintenance of the common area is the responsibility of the property owners;
- 6) subject to the Engineering comments: *(Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Any and all proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.);*

- 7) subject to Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile); and*
- 8) submittal of two copies of a revised site plan prior to signing of the Final Plat for the Subdivision.

**Sidewalk Waiver:** Based on the preceding, it is recommended that this application be approved.

## LOCATOR MAP



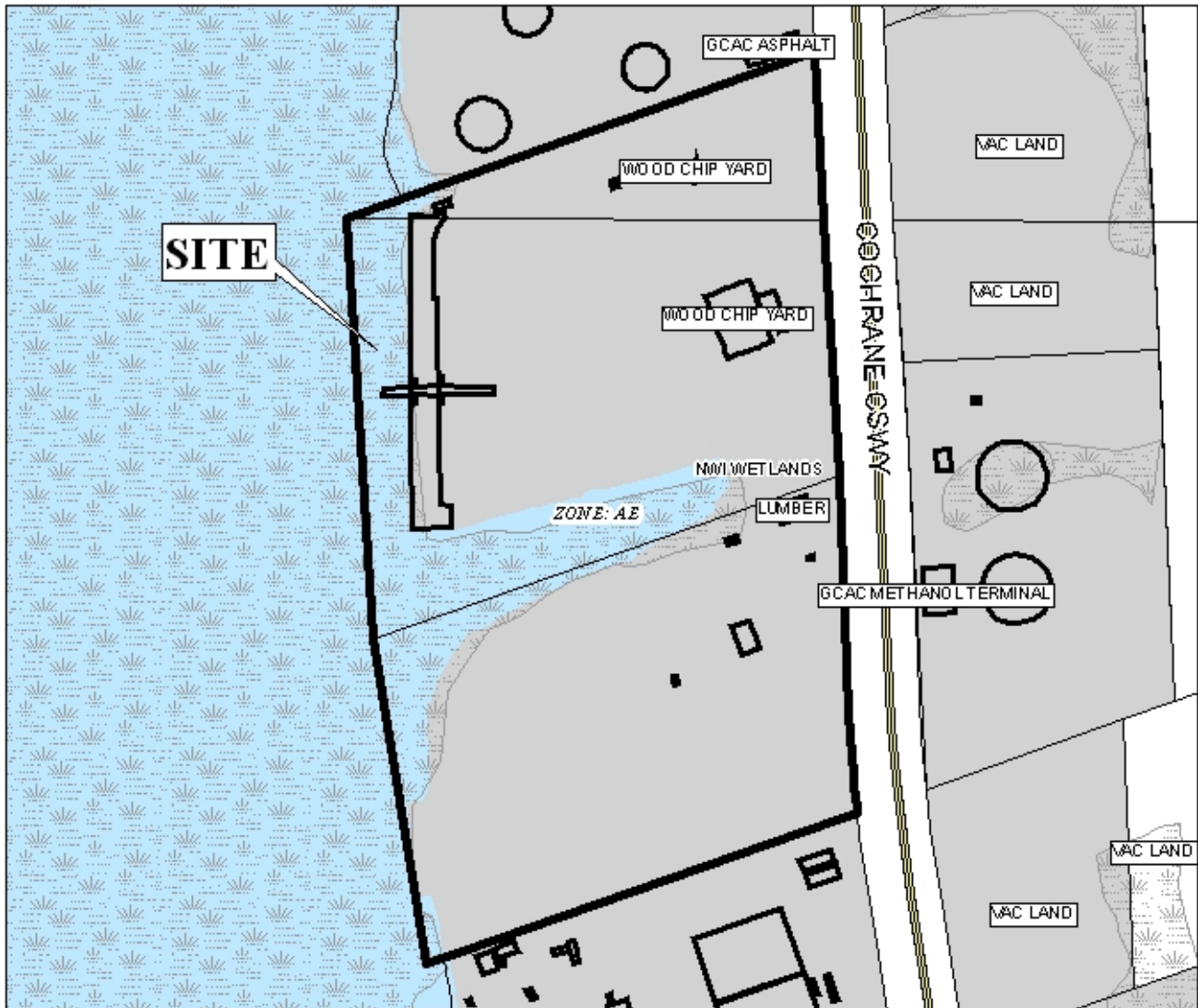
APPLICATION NUMBER 20, 21 & 22 DATE September 6, 2012

APPLICANT Chipco Industrial Park, Blakeley Island Subdivision

REQUEST Subdivision, PUD, Sidewalk Waiver



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial land use.

APPLICATION NUMBER 20, 21 & 22 DATE September 6, 2012

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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## PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

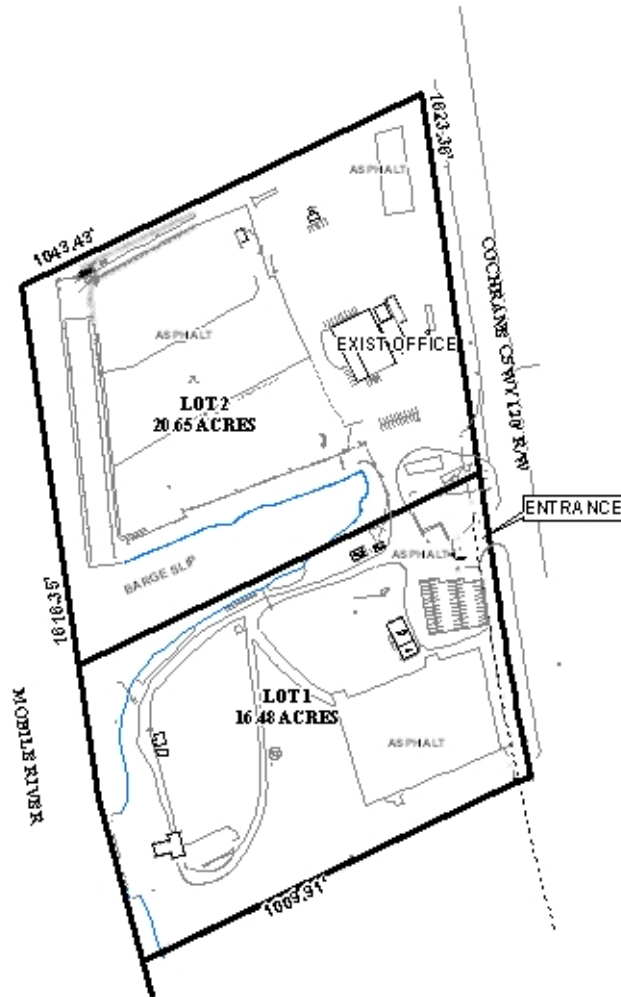


The site is surrounded by industrial land use.

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## SITE PLAN

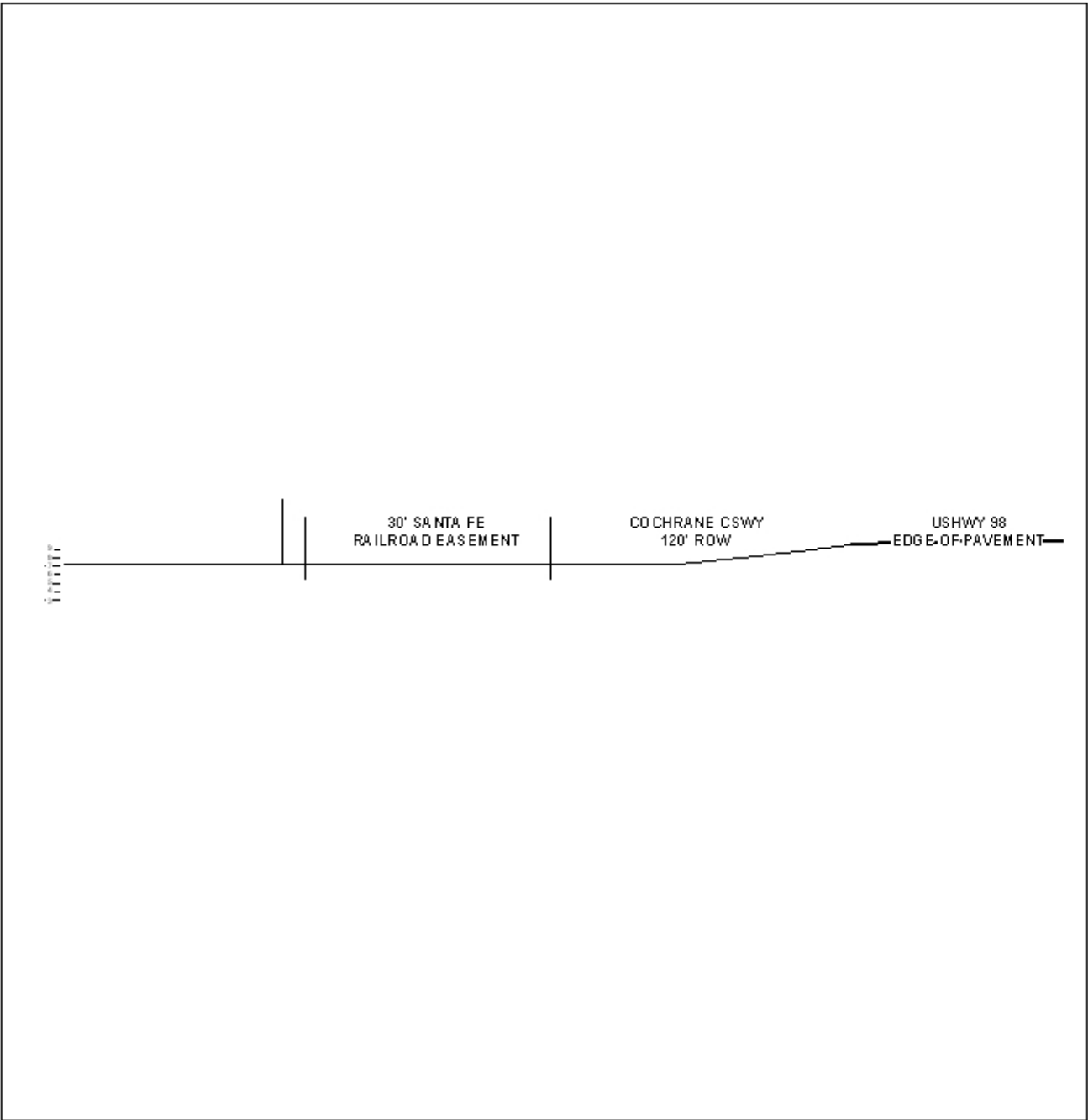


The site plan illustrates the existing development and proposed lot configuration.

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# DETAIL SITE PLAN



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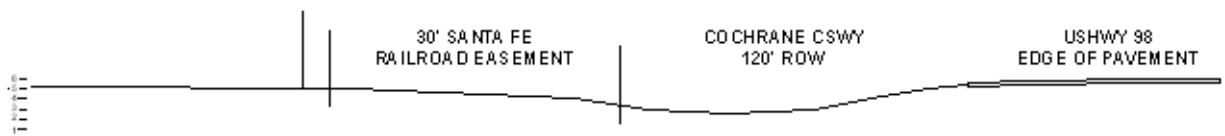
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NTS

## DETAIL SITE PLAN



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