

**PLANNING APPROVAL &  
PLANNED UNIT DEVELOPMENT****Date: September 20, 2007****NAME**

McGill-Toolen High School (Fr. Bry Shields)

**LOCATION**

1501 Old Shell Road  
(South side of Old Shell Road, extending from the West side of Lafayette Street to the East side of Catherine Street; Northwest corner of Old Shell Road and Kilmarnock Street, and North side of Old Shell Road between Kilmarnock Street and Catherine Street; Northeast corner of Dauphin Street and Lafayette Street; Northwest corner of Dauphin Street and Lafayette Street; Southeast corner of Old Shell Road and Lafayette Street and extending South along the East side of Lafayette Street 696'±)

**CITY COUNCIL  
DISTRICT**

District 2

**PRESENT ZONING**

R-1, Single-Family Residential

**AREA OF PROPERTY**

17.6± Acres

**CONTEMPLATED USE**

Planning Approval to amend the previously approved Comprehensive Master Plan for an existing school in an R-1, Single-Family Residential district to allow its expansion to include existing parking and entrance drive reconfigurations, a covered walkway between across-street sites, new science classroom buildings, a new student center, and a new classroom building, and Planned Unit Development Approval to amend a previously approved Planned Unit Development Approval to allow multiple buildings on a single building site.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate

**ENGINEERING  
COMMENTS**

The release rate from the development should not exceed the existing release rate, due to existing flood problems in the area. Runoff from parking spaces perpendicular to Catherine St. needs to be drained away from the Catherine Street pavement. It should be captured subsurface and conveyed to the detention pond on-site. Functionality and capacity of existing detention pond needs to be verified in design calculations. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If

wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. The ninety degree parking that backs into the roadway will not be allowed. The parking should remain angled or preferably be changed to back-in angled parking.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate.

**REMARKS**

The applicant is requesting Planning Approval to amend the previously approved Comprehensive Master Plan for an existing school in an R-1, Single-Family Residential district, to allow its expansion to include parking and entrance drive reconfigurations, a covered walkway between across-street sites, new science classroom buildings, a new student center, and a new classroom building in an R-1, Single-Family Residential District, and Planned Unit Development Approval to amend a previously approved Planned Unit Development Approval to allow multiple buildings on a single building site.

The applicant has submitted detailed description of the projected projects: 1) Science building, new construction of approximately 20,430 square feet, consisting of a two-story building with eight classrooms, storage rooms, green room, toilet rooms and large mechanical room. The building also includes approximately 5,000 square feet of covered walkways and a delivery dock area; 2) The Student Center, new construction of approximately 31,200 square feet consisting of a two-story building to include chapel, bell tower, sacristy, reconciliation rooms, agora, art gallery, hall of honors, bookstore, private dining/conference room, office, refectory, kitchen, private dining room and toilet facilities; 3) office renovations; 4) McGill building, renovation of existing cafeteria to be converted into new band room; 5) McGill gymnasium, renovation of existing band room to be converted into new fitness center; 6) Covered walkway, new construction of a covered walkway approximately 6,000 square feet, connecting the proposed Student Center crossing Lafayette Street to the existing Toolen building; 7) field house renovations; 8) McGill building, construction of a new walkway in front of the building; 8) Chapel area renovation of existing chapel to be converted into new space for chorus; 9) McGill gymnasium, renovation of stage; and 10) McGill gymnasium, renovation of existing locker

rooms. The applicant states that the work will be conducted in eleven phases, with each phase substantially complete before beginning the next phase.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

It should be noted that PUD and Planning Approval are site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The site plan depicts the existing and new paved parking area layout that will change with the proposed construction of the Science building and the Student Center. However, the overall site plan does not illustrate the number of on-site parking spaces available to the parking ratio of one space per four students. It should be noted with the addition of the Student Center (-105 spaces) and the addition of the parking lot (+30) along North Catherine Street; therefore, the site will lose 75 parking spaces. Additionally, the site plan reflects 48, 90 degree spaces within the right-of-way of North Catherine Street, which would not be allowed per comments by Traffic Engineering, a site plan for Planning approval and Planned Unit Development (PUD) submitted in 2005 illustrates 20, 60 degree spaces along North Catherine Street. Therefore, only the illustrated 20 angled parking would be allowed, since the new parking would not comply with today's standards.

The site plan also shows extensive landscaping and trees within the science building project area; however, it does not illustrate existing landscaping and trees as well as the buffering requirements of the Zoning Ordinance.

The site plan illustrates an about street level cross over of Lafayette Street to provide a student access to the Toolen building. However, the applicant has not submitted elevation dimensions to allow approval of this phase.

Section 64-6. of the Zoning Ordinance requires that lighting be provided for off-street parking facilities containing more than ten spaces, if the parking facilities will be used after dark. If lighting of the building or parking area is proposed, the lighting must fully comply with Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance; specifically, lighting for the site should be designed and placed so that it does not shine onto residential properties (use of "full cut-off" fixtures).

Finally, there is no indication on the site plan as to the proposed location of any dumpster or other waste storage facility. If the applicant utilizes a dumpster, the location of the storage area for the dumpster must be indicated on the site plan, and the location and required screening must comply with Section 64-4.D.9. of the Zoning Ordinance, as well as with all other applicable regulations.

It is anticipated the proposed additions to the campus will be an asset to the general area; however, it may have adverse impact to immediate neighbors.

**RECOMMENDATION**

**Planning Approval:** Based upon the preceding, this request is recommended for Holdover until the October 18<sup>th</sup> meeting to allow the applicant to provide revised site plans by September 27<sup>th</sup>:

- 1) the revision of the Planning Approval site plan to include all parking areas that are used by the students and staff and reflect the change in parking spaces and reduction of landscaping with plan detail regarding the connection of the proposed parking facility with existing parking facilities so that staff can determine if existing parking and circulation facilities will be impacted;
- 2) the illustration of sidewalks or the submission of a sidewalk waiver;
- 3) a revised site plan depicting compliance with the tree and landscaping requirements of Section 64-4.E. of the Zoning Ordinance for the entire site; and
- 4) the approval of the design and location of existing parking spaces along North Catherine Street within the right-of-way.

**Planned Unit Development:** Based upon the preceding, this request is recommended for Holdover until the October 18<sup>th</sup> meeting to allow the applicant to provide revised site plans by September 27<sup>th</sup>:

- 1) the construction be limited to the submitted and approved site plan;
- 2) the provision of landscaping, trees and buffering where the site abuts residential uses;
- 3) revision of the site plan to depict sidewalks all road frontages;
- 4) revision of the site plan to depict any dumpster storage facility, in compliance with Section 64-4.D.9. of the Zoning Ordinance;
- 5) placement of a note on the site plan stating that on-site lighting must fully comply with Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance; and
- 6) full compliance with all other municipal codes and ordinances.

***Revised for the October 18<sup>th</sup> meeting:***

*Revised site plans were never submitted, in response to the staff comments, it seems that the applicant has several firms trying to complete the site plans with no primary point of contact. Staff has spoken to the landscape architect, the site engineers and the proposed contractor, but has not spoken with the initial design professional.*

*A primary concern of the applications related to the expansion of the school is the relationship with the surrounding area. The initial submissions did not illustrate the overall campus; to be specific; the application did not include the additional parking to the Northeast and Southwest. Another issue was the parking within the right-of-way along South Catherine Street and Lafayette Street, which seems to be increased.*

*As mentioned in the previous reasons for holdover, the site plan should illustrate existing landscaping and trees; however, compliance with the landscaping and tree requirements would only be required within the project area since the campus is significantly treed. It should be noted that these applications mention a Phase II; however, no details of this Phase are included in the submission. Therefore, submission of Planned Unit Development (PUD) and Planning Approval application should be required for Phase II.*

**RECOMMENDATION**

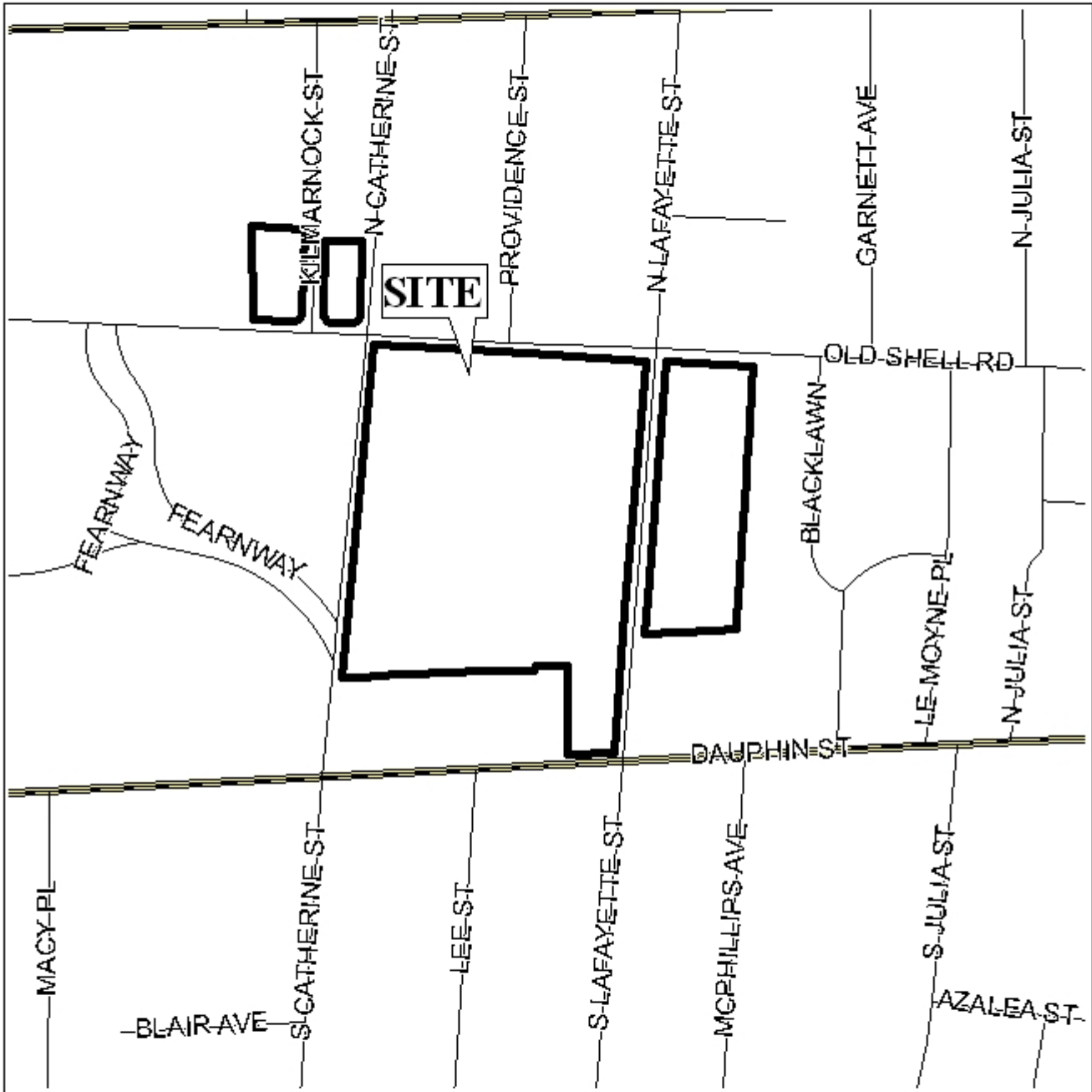
**Planning Approval:** *Based upon the preceding, this request is recommended for Holdover until the November 15<sup>th</sup> meeting to allow the applicant to submit a revised site plan due by October 15<sup>th</sup>:*

- 1) the revision of the Planning Approval site plan to include all parking areas that are used by the students and staff and reflect the change in parking spaces and reduction of landscaping with plan detail regarding the connection of the proposed parking facility with existing parking facilities so that staff can determine if existing parking and circulation facilities will be impacted;*
- 2) the illustration of sidewalks or the submission of a sidewalk waiver;*
- 3) a revised site plan depicting compliance with the tree and landscaping requirements of Section 64-4.E. of the Zoning Ordinance for the project area; and*
- 4) the approval of the design and location of existing parking spaces along North Catherine Street within the right-of-way by Traffic Engineering.*

**Planned Unit Development:** *Based upon the preceding, this request is recommended for Holdover until the November 15<sup>th</sup> meeting to allow the applicant to submit a revised site plan due by October 30<sup>th</sup>:*

- 1) the revision of the Planned Unit Development (PUD) site plan to include all parking areas that are used by the students and staff and reflect the change in parking spaces and reduction of landscaping with plan detail regarding the connection of the proposed parking facility with existing parking facilities so that staff can determine if existing parking and circulation facilities will be impacted;*
- 2) the construction be limited to the submitted and approved site plan for Phase I;*
- 3) the provision of landscaping, trees and buffering where the site abuts residential uses;*
- 4) revision of the site plan to depict the existing sidewalks all road frontages;*
- 5) revision of the site plan to depict any dumpster storage facility, in compliance with Section 64-4.D.9. of the Zoning Ordinance;*
- 6) placement of a note on the site plan stating that on-site lighting must fully comply with Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance; and*
- 7) full compliance with all other municipal codes and ordinances.*

# LOCATOR MAP



APPLICATION NUMBER 16 & 17 DATE October 18, 2007

APPLICANT McGill-Toolen High School (Fr. Bry Shields)

REQUEST Planned Unit Development, Planning Approval



NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by miscellaneous land use.

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LEGEND 

R-1	R-2	R-3	R-4	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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The site plan illustrates the campus layout with the following features:

- Streets:**
  - OLD SHELL RD (50' R/W):** Runs horizontally across the top of the main campus area.
  - CATHERINE ST (40' R/W):** Runs vertically along the left side of the main campus area.
  - DAUPHIN ST (60' R/W):** Runs horizontally across the bottom of the main campus area.
  - LAFAYETTE ST (50' R/W):** Runs vertically along the right side of the main campus area.
  - KILMARNOCK ST:** A narrow street running vertically along the far left edge, adjacent to the inset map.
- Buildings:**
  - EXIST BLDG.:** Multiple existing buildings are shown as solid black shapes within the main campus boundary.
  - NEW SCIENCE BLDG.:** A new building is indicated by a dashed outline with an arrow pointing to its location near the center-left of the campus.
- Parking:**
  - ASPHALT PARKING:** A designated parking area is shown near the new science building.
  - OFFSITE PRKG.:** Two off-site parking areas are shown in dashed boxes: one at the top left (near Kilmarnock St) and one at the bottom right (near Lafayette St).
- Other Features:**
  - LOT 1, LOT 2, LOT 3:** Specific lots are labeled within the off-site parking areas.
  - (AREA NOT TO SCALE):** A note indicating that the dimensions and areas are not to scale.

This site plan illustrates existing and proposed buildings with off-site parking.

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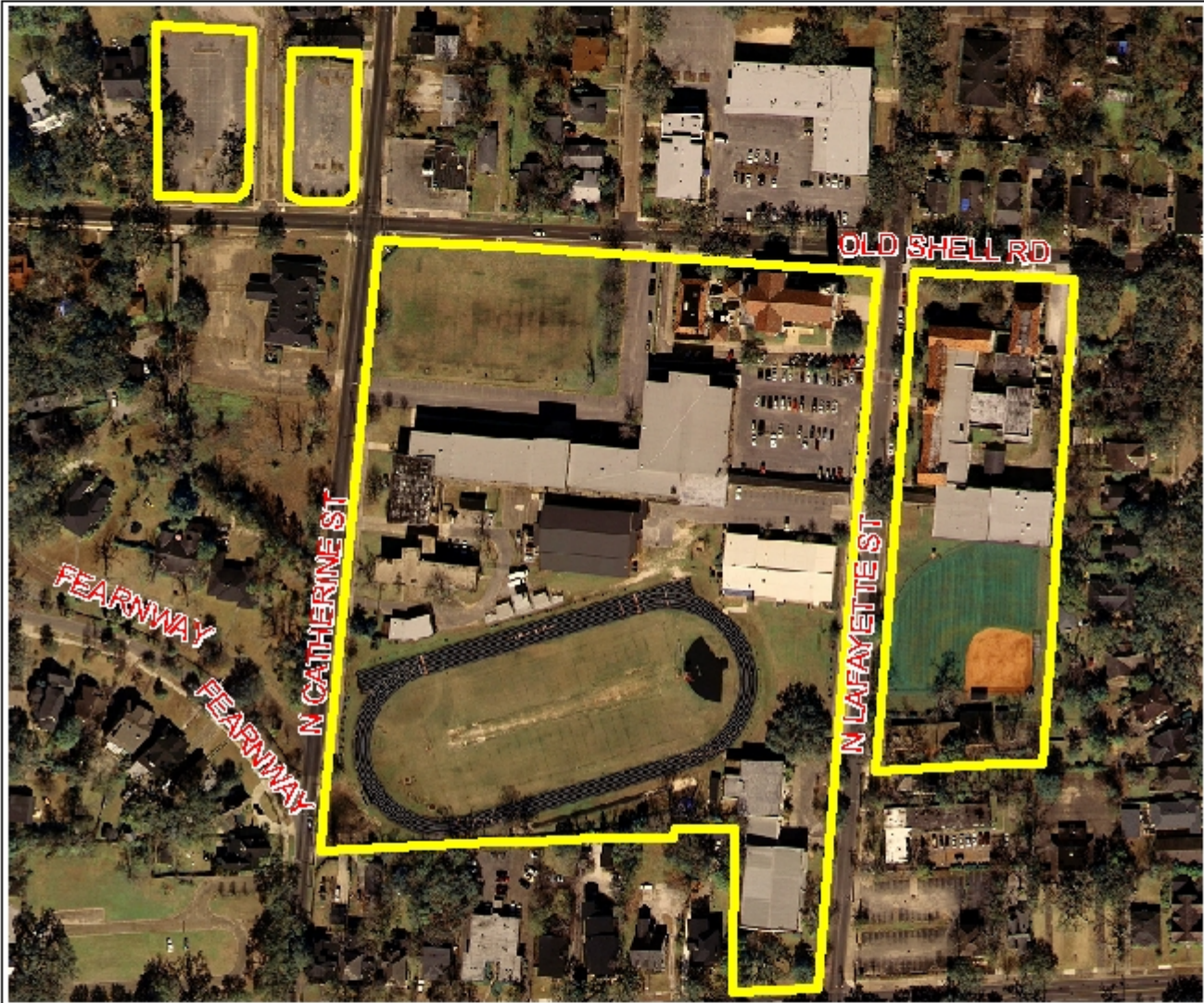
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