

HIGHWAY 90 / SNOWBALL SUBDIVISION

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 21 - #92) the Lot(s) will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Provide and label the monument set or found at each subdivision corner.
- E. Add a signature block for the Traffic Engineer.
- F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- G. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- H. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: U.S. Highway 90 is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWSS Comments: MAWSS has only sewer services available.

The plat illustrates the proposed 3.1± acre, 2-lot subdivision which is located on the West side of U.S. Highway 90 West, 280'± South of Sermon Road South, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create two legal lots of record from two metes-and-bounds parcels.

The lot sizes are labeled on the preliminary plat in square feet and acres, and should be placed on the Final Plat, if approved. It should be noted that the proposed lot would exceed the minimum required lot size in Section V.D.2. of the Subdivision Regulations.

The site has frontage onto U.S. Highway 90 West, a major street, which is illustrated as having a right-of-way of 180'. As a major street, U.S. Highway 90 West should have a right-of-way of 250' according to the Major Street Plan component of the Comprehensive Plan, making dedication to provide 125' from the centerline necessary.

The preliminary plat illustrates a 50' wide easement for ingress and egress, indicating that the lots will share a single curb cut; this appears to be based upon an ALDOT request/requirement. If this is the case, it should be noted that an Administrative Planned Unit Development will be required to allow shared access between two building sites.

The preliminary plat does depict the 25-foot minimum building setback line along U.S. Highway 90 West. The setback line should be illustrated after dedication on the Final Plat, if approved.

It should be noted that the proposed lots do not meet the standards for width-to-depth ratio. Section V.D.3. of the Subdivision Regulations states that lot depth should not exceed 3.5 times the width of the lot at the building setback. As proposed, Lot 1 will be 150'± wide at the setback line and 726'± deep, resulting in a lot that is approximately 201'± deeper than would normally be allowed. As proposed, Lot 2 will be 148'± wide at the setback line and 700'± deep, resulting in a lot that is approximately 182'± deeper than would normally be allowed. There appear to be several lots in the area which exceed the width-to-depth ratio that have been previously approved by the Planning Commission, and as such, a waiver of Section V.D.3. may be appropriate.

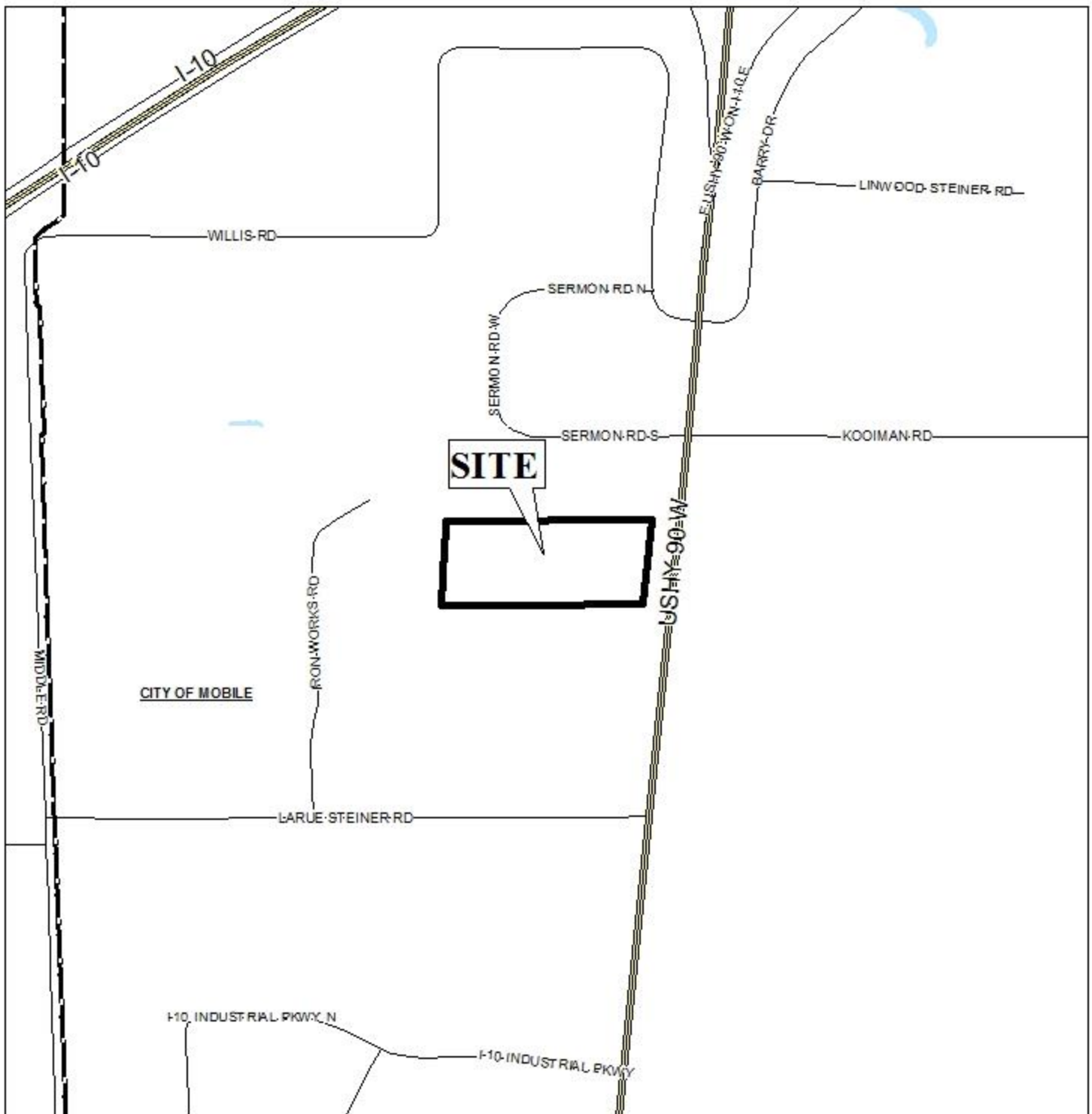
Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication to provide 125' from the centerline of U.S. Highway 90 West, revised for dedication;
- 2) retention of the lot size in square feet and acres;
- 3) placement of a note stating the development is limited to one shared curb-cut with the size, location and design of all curb cuts is to be approved by Traffic Engineering and conform to AASHTO standards subject to an approved Planned Unit Development;
- 4) depiction of the 25-foot minimum building setback along all frontages after dedication;
- 5) compliance with Engineering comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
A) Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. B) Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 21 - #92) the Lot(s) will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the

Land Disturbance Permit application. C) Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D) Provide and label the monument set or found at each subdivision corner. E) Add a signature block for the Traffic Engineer. F) Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. G) Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. H) Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);

- 6) *compliance with Traffic Engineering comments (U.S. Highway 90 is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 7) *compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 8) *compliance with Fire comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.);*
- 9) *submission of an application for an Administrative Planned Unit Development prior to any request for site development permits; and*
- 10) *completion of the Subdivision process prior to any application for permits.*

LOCATOR MAP



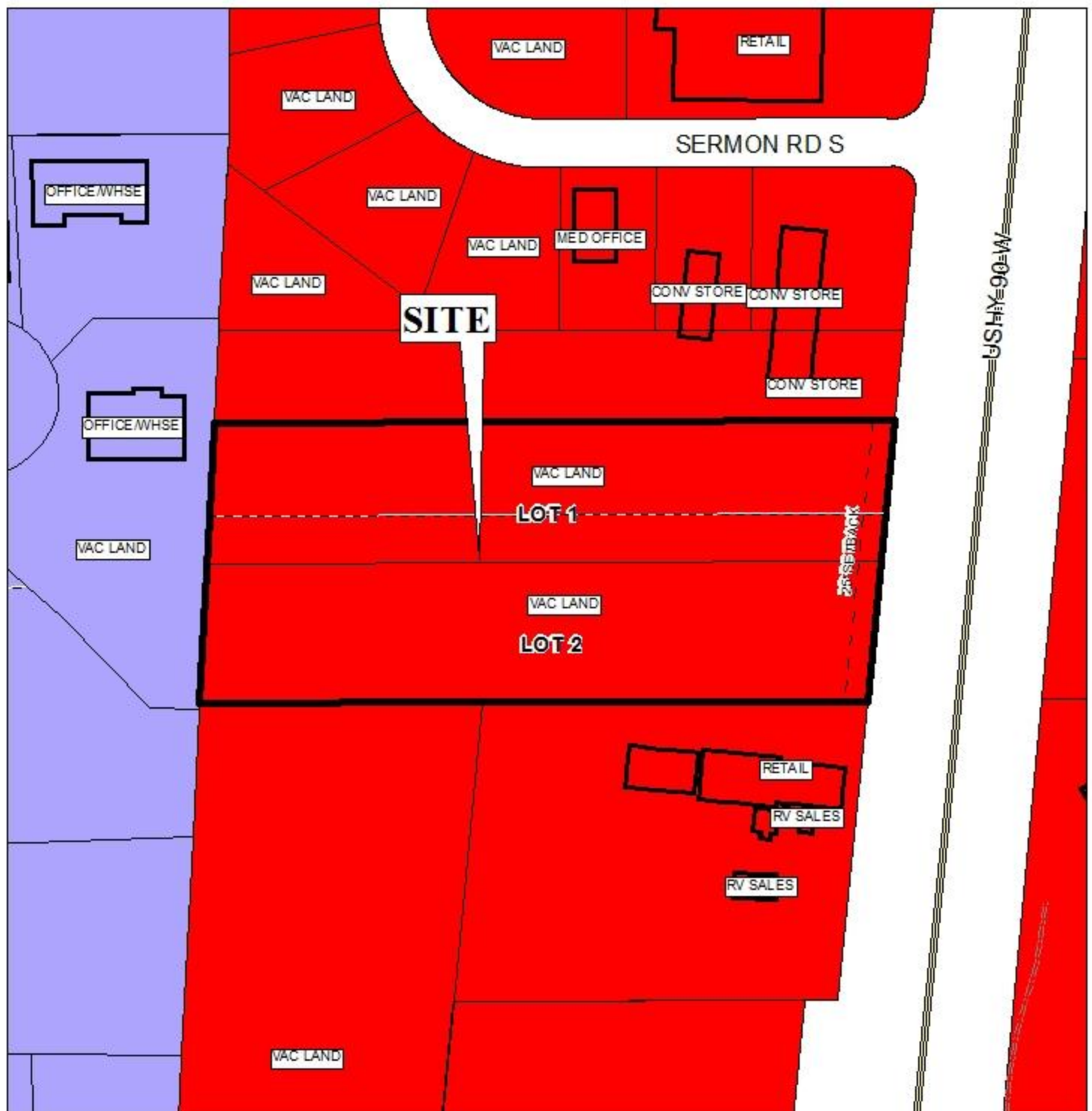
APPLICATION NUMBER 15 DATE January 15, 2015

APPLICANT Highway 90 / Snowball Subdivision

REQUEST Subdivision



HIGHWAY 90 / SNOWBALL SUBDIVISION



APPLICATION NUMBER 15 DATE January 15, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



HIGHWAY 90 / SNOWBALL SUBDIVISION



APPLICATION NUMBER 15 DATE January 15, 2015

