

BRIDGEMILL SUBDIVISION, PHASE 2 (FORMERLY SAYBROOK SUBDIVISION)

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 18.5 ± acres, 40-lot subdivision which is located on the South termini of Fenwick Loop, extending to the East terminus of Meadow Wood Drive. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to subdivide multiple metes and bounds parcels into 40 lots.

This site was granted Tentative Approval by the Planning Commission in 2002. This application, is for a different configuration, an increase in the number of lots, and includes more property than what was approved, hence a new application is required.

As illustrated on the Vicinity Map, Meadow Wood Drive dead ends into the proposed detention area. As a turnaround was not constructed at that time, a turnaround would now be required to provide maneuvering for public services; therefore, the provision of a temporary turn around (as illustrated on the plat) to be constructed prior to the recording of the final plat, should be required.

The detention area is labeled as common area; thus, a note labeling this area as a detention area and a note stating that the maintenance of the common area is the responsibility of the property owners, should be required on the final plat.

This site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially, and adjoin residentially developed property, must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the construction of a temporary turn around for Meadow Wood Drive (as illustrated on the plat) prior to the recording of the final plat; 2) the placement of a note on the final plat labeling the detention area as such and a note stating that the maintenance of the common area is the responsibility of the property owners; and 3) the placement of a note on the final plat stating that any property developed commercially and adjoining residentially developed property will provide a buffer in compliance with Section V.A.7. of the Subdivision Regulations.

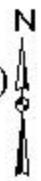
LOCATOR MAP



APPLICATION NUMBER 17 DATE October 16, 2003

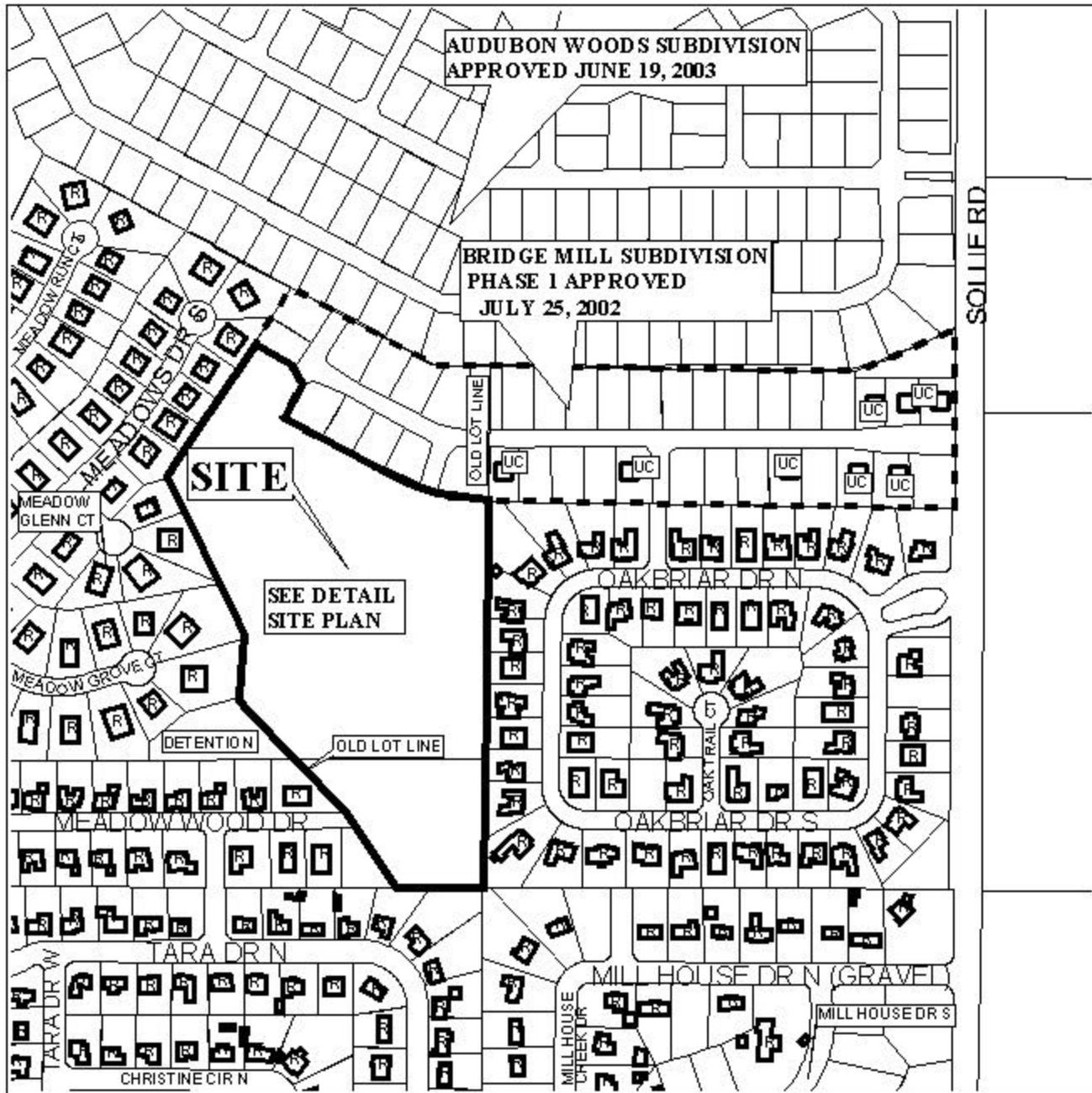
APPLICANT Bridge Mill Subdivision, Phase 2 (formerly Saybrook Subdivision)

REQUEST Subdivision



NTS

BRIDGE MILL SUBDIVISION, PHASE 2 (FORMERLY SAYBROOK SUBDIVISION)



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LEGEND



DETAIL SITE PLAN



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REQUEST Subdivision

