

**REZONING &
PUD STAFF REPORT**

Date: October 16, 2003

APPLICANT NAME

Franklin Primary Health Center, Inc.
(Tommie L. Anderson, Agent)

DEVELOPMENT NAME

Franklin Primary Health Center, Inc.

LOCATION

North side of Dr. Martin Luther King, Jr. Avenue,
100'± East of Peach Street, extending to the East
side of Peach Street, 110'± North of Dr. Martin
Luther King, Jr. Avenue.

PRESENT ZONING

R-1, Single-Family Residential

PROPOSED ZONING

B-1, Buffer Business

AREA OF PROPERTY

0.5± Acres

CONTEMPLATED USE

Off-Site Parking Lot Expansion for Existing Health
Care Facility, on Multiple Lots.

**It should be noted, however, that any use
permitted in the proposed district would be
allowed at this location if the zoning is changed.
Furthermore, the Planning Commission may
consider zoning classifications other than that
sought by the applicant for this property.**

TIME SCHEDULE

Immediate

ENGINEERING

COMMENTS

Must comply with all stormwater and flood control
ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, sizes, location and design to be
approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY

COMMENTS

Urban Forestry would like to request preservation
status (Any work around, including trimming or removal of this tree, requires approval
from the Mobile Planning Commission.) for the 64" Live Oak located in the southeast
corner of Lot 2. All work under the canopy of the tree will be coordinated with Urban
Forestry. As a reminder, all 24" and larger Live Oaks require a permit from Urban

Forestry for trimming or removal. Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (City Code Chapters 57 and 64 and State Act 61-929).

REMARKS

The applicant is proposing development of the site as an off-site parking lot for an existing medical facility. The medical facility is located directly across Dr. Martin Luther King, Jr. Avenue and has recently been constructed. The onsite parking facilities meet the minimum requirements of the Zoning Ordinance, but are not sufficient for the actual clientele.

While the site does not meet the minimum size guidelines recommended for the creation of a new B-1 district, it is directly across the street from an existing B-1 district. Additionally, while the property adjacent to the West is zoned R-1, it enjoys a Use Variance (granted in 2000) that allows a convenience store/deli. Therefore, the proposed rezoning could be considered an expansion of the existing commercial zoning and land use pattern.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The proposal appears to have little or no impact on the nearby residential properties. Additionally, as the parking facilities contain more than 10 spaces, they will have to be lighted and screened from view along Peach Street, as well as providing buffering along the North and East property lines where the site abuts residentially zoned properties. As a side note regarding lighting of the parking facility, the Ordinance requires that the lighting be so arranged that the source of light does not shine directly into adjacent residential properties or into traffic.

The interior circulation pattern is for one-way traffic with a single entrance from Dr. Martin Luther King, Jr. Avenue and exits to both Dr. Martin Luther King, Jr. Avenue and Peach Street. Directional signage should be required to ensure proper traffic flow.

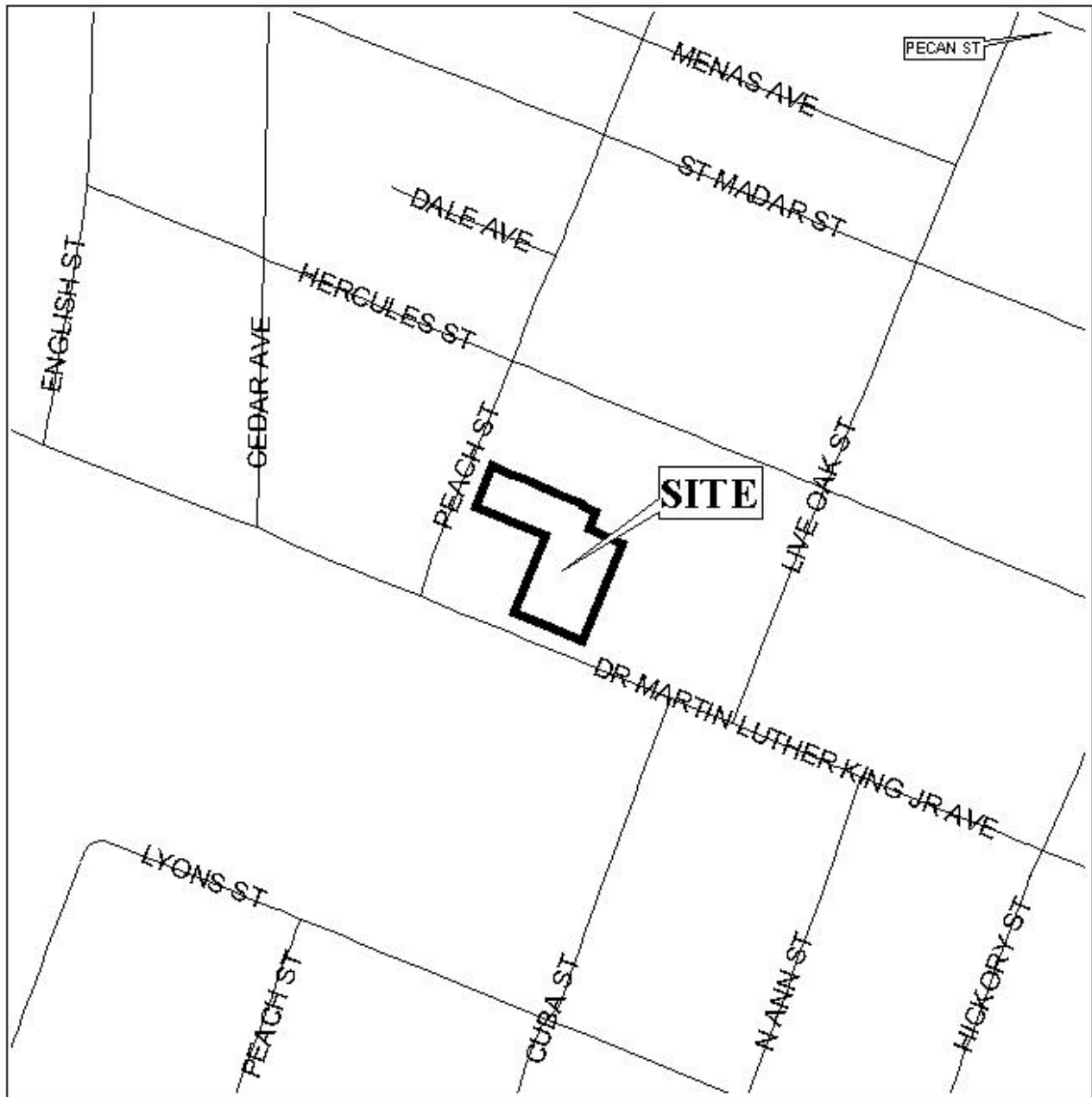
The plan indicates a 60" oak near the East property line. This tree should be given preservation status, with all work under the canopy to be permitted and coordinated with Urban Forestry, removal to be permitted by Urban Forestry only in the case of disease or impending danger. The remaining trees that are larger than 24" should be protected, and require permitting for removal.

RECOMMENDATION

Rezoning: based on the preceding, it is recommended that this application be approved subject to the following condition: 1) limited to the accompanying PUD.

Planned Unit Development: based on the preceding, it is recommended that this application be approved subject to the following conditions: 1) completion of the rezoning process; 2) the parking facility be paved, and include curbing and wheel stops; 3) the parking facility be lighted, and screened from view along Peach Street as required by Section VI of the Zoning Ordinance; 4) provision of buffering along the North and East property lines where the site abuts residentially zoned properties; 5) provision of directional signage, to be approved by the Traffic Engineering Department; 6) the 60" tree along the East property line be given Preservation Status, with all work under the canopy to be permitted and coordinated with Urban Forestry, removal to be permitted by Urban Forestry only in the case of disease or impending danger, and the remaining trees that are larger than 24" be protected and require permitting for removal; and 7) full compliance with all municipal codes and ordinances

LOCATOR MAP



APPLICATION NUMBER 12 & 13 DATE October 16, 2003

APPLICANT Franklin Primary Health Center, Inc. (Tommie L. Anderson, Agent)

REQUEST Rezoning from R-1 to B-1, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single- family residential units. Churches are located to the north and south of the site. A medical clinic, school, and a civic club are located to the south of the site.

APPLICATION NUMBER 12 & 13 DATE October 16, 2003

APPLICANT Franklin Primary Health Center, Inc. (Tommie L. Anderson, Agent)

REQUEST Rezoning from R-1 to B-1, Planned Unit Development

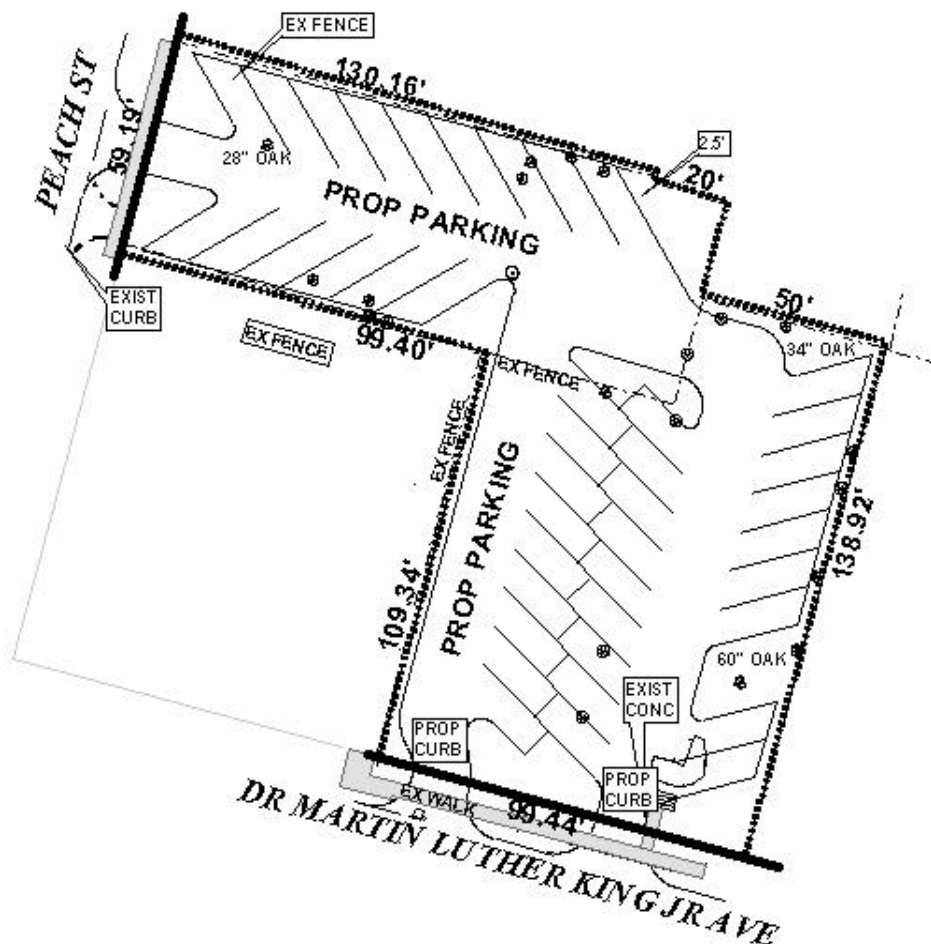
LEGEND



NTS



SITE PLAN



The site plan illustrates the proposed parking spaces, proposed curb cuts, existing fencing, concrete, curb cuts, sidewalks, and trees.

APPLICATION NUMBER 12 & 13 DATE October 16, 2003
 APPLICANT Franklin Primary Health Center, Inc. (Tommie L. Anderson, Agent)
 REQUEST Rezoning from R-1 to B-1, Planned Unit Development

