

DYKES ROAD FARMETTES SUBDIVISION,
RESUBDIVISION OF LOT 5

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has NO water or sewer services available.

The plat illustrates the proposed 2.62 acre \pm , 2 lot subdivision which is located on the North side of Pierce Creek Road, 1030' \pm West of Dykes Road South. The applicant states that the subdivision is served by public water and septic tanks.

The purpose of this application is to resubdivide one legal lot of record into two legal lots of record.

The proposed Lot 2 meets the minimum size and frontage requirements as regulated by Section V.D.2. of the Subdivision Regulations.

The proposed Lot 1 is a flag lot, and, while meeting the minimum width of 25 feet for a flag lot, the applicant did not provide any information stating unusual circumstance which may exist on the lot, or if there is a natural or pre-existing man-made barrier which may cause an undue hardship. Flag lots are generally not allowed, and there appears to be only one flag lot in the immediate vicinity of the site which was approved by Planning Commission in September 2003. However, the proposed lot does not seem to satisfy the requirements of Section V.D.1. of the Subdivision Regulations and no justification was provided.

The 25-foot minimum building setback line and the lot area sizes, in square feet, are depicted on the plat, and should be retained on the final plat, if approved.

The proposed lots have frontage along Pierce Creek Road, a minor street not provided with curb and gutter and with an existing right-of-way of 60 feet. As a means of access management, each lot should be limited to a single curb cut, to Pierce Creek Road with the size, location and design of all curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

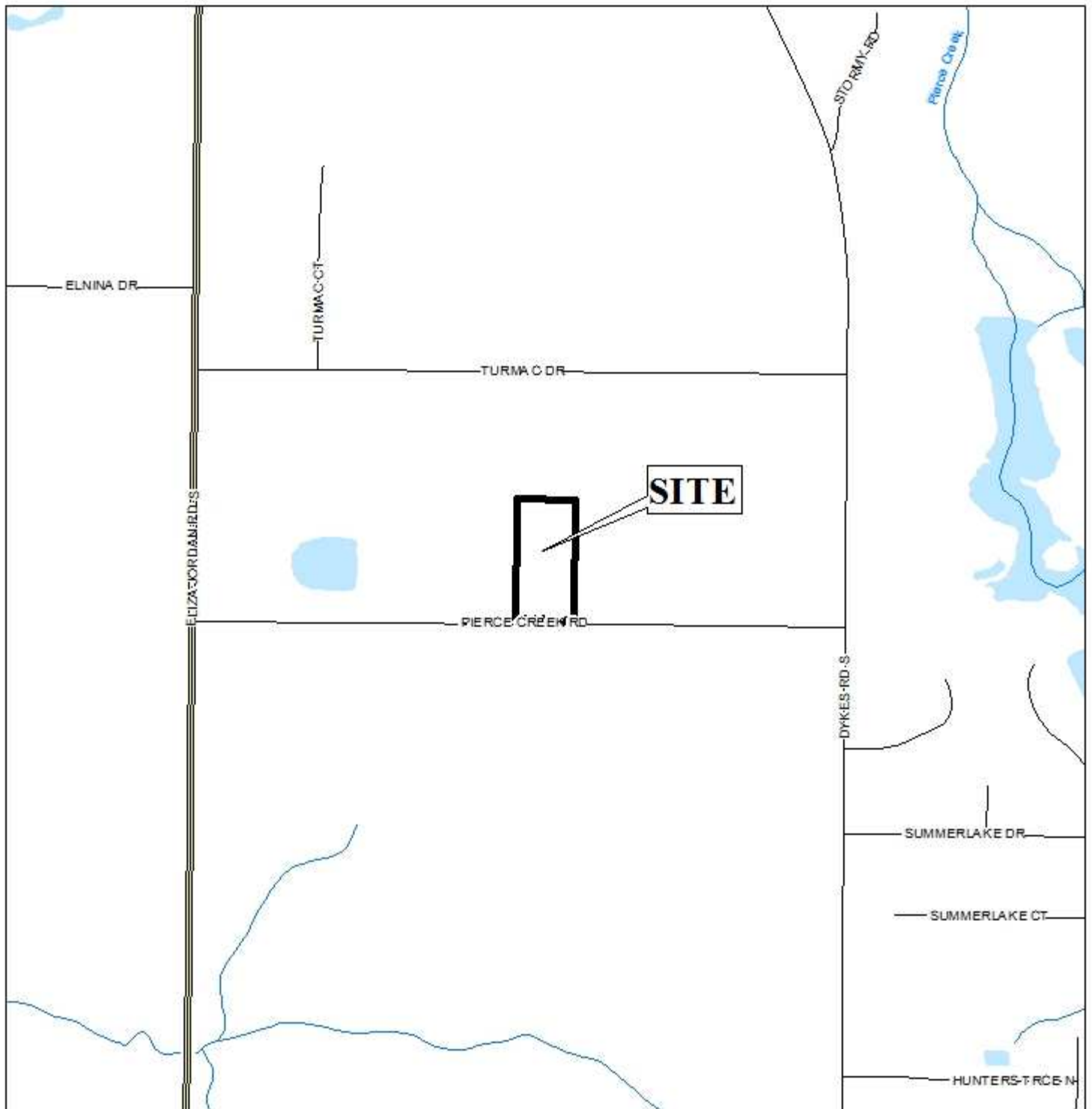
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-

game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should also appear on the Final Plat, if approved.

Based on the preceding, this application is recommended for Denial do to the proposed flag lot, with no submitted justification.

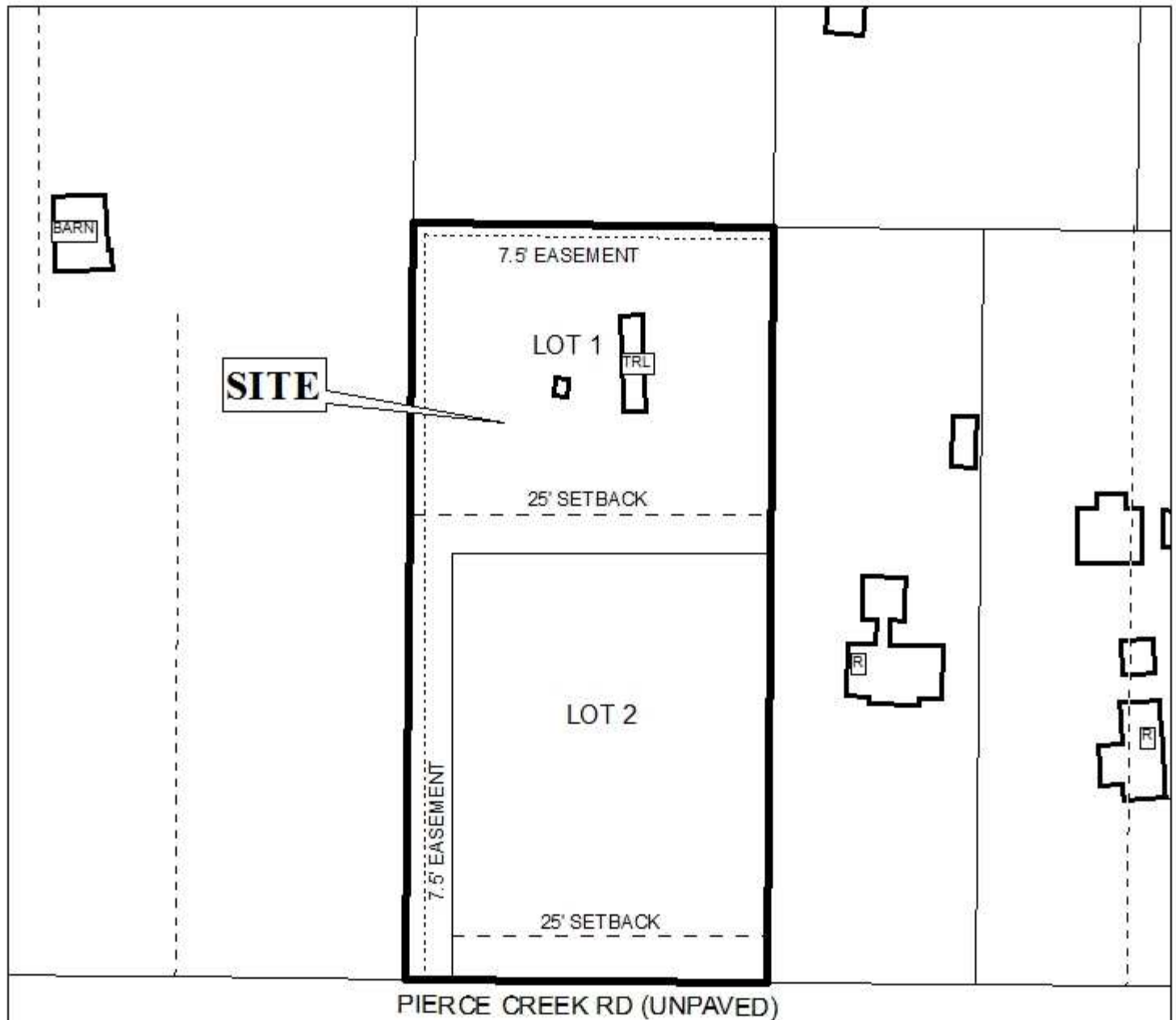
LOCATOR MAP



APPLICATION NUMBER 11 DATE January 16, 2014
APPLICANT Dykes Road Farnettes Subdivision, Resubdivision of Lot 5
REQUEST Subdivision



DYKES ROAD FARMETTES SUBDIVISION, RESUBDIVISION OF LOT 5



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LEGEND															
	R-1	R-2	R-3	R-4	R-5	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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