

REMARKS

The applicant is requesting rezoning from R-1, Single-Family Residential to B-5, Office-Distribution to construct a multi-tenant building for use as professional offices and warehouses.

The site is illustrated as residential on the General Land Use Component of the Comprehensive Plan, which is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Moreover, the General Land Use component allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification requested, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and zoning classification.

Although the site is illustrated as residential on the General Land Use Plan, as shown on the Vicinity Map, the overall area is predominately heavy commercial with existing B-3 and B-5 districts, as well as a nonconforming trucking company, adjacent to the East. Additionally, the site is essentially surrounded by Rangeline Road, Interstate 10 and the railroad tracks, making it a logical B-5 site.

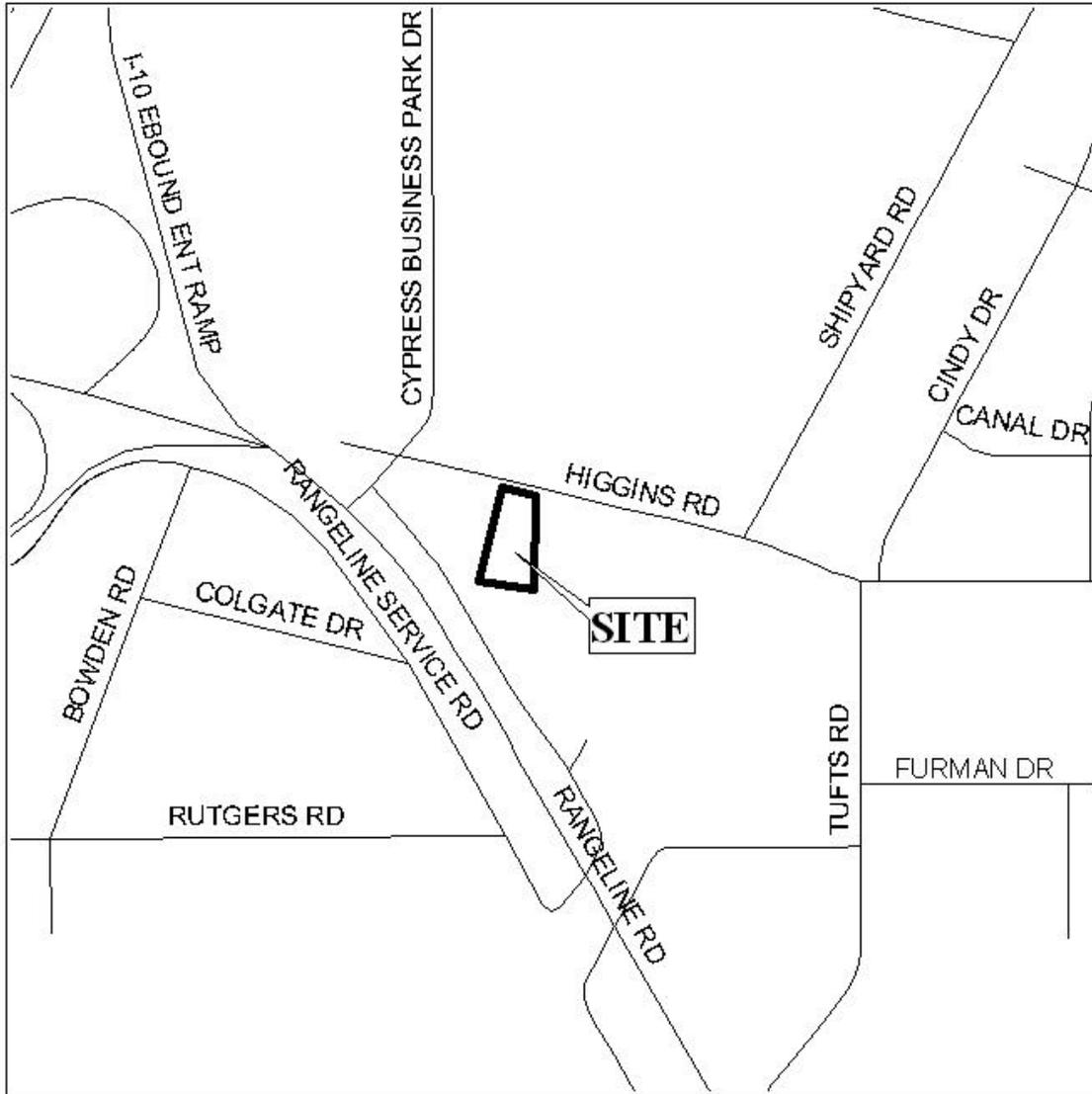
As with any rezoning application, full compliance with the landscaping and tree planting requirements of the Ordinance would be required. Additionally, as outlined in the Urban Forestry Comments, the 36" Live Oak located in the southeast corner should be given preservation status, which means that any work around, including trimming or removal of this tree requires approval from the Mobile Planning Commission. Additionally, all work under the canopy of the tree must be coordinated with Urban Forestry.

Regarding access, the site has less than 130-feet of frontage on Higgins Road, and thus should be limited to one curb cut, with the location and design to be approved by Traffic Engineering.

RECOMMENDATION

Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) full compliance with the landscaping and tree planting requirements of the Ordinance; 2) that the 36" Live Oak located in the southeast corner be given preservation status (any work around, including trimming or removal of this, tree would require approval from the Mobile Planning Commission) and all work under the canopy of the tree be coordinated with Urban Forestry; 3) that the site be limited to one curb cut to Higgins Road, with the location and design to be approved by Traffic Engineering; and 4) full compliance with all municipal codes and ordinances.

LOCATOR MAP

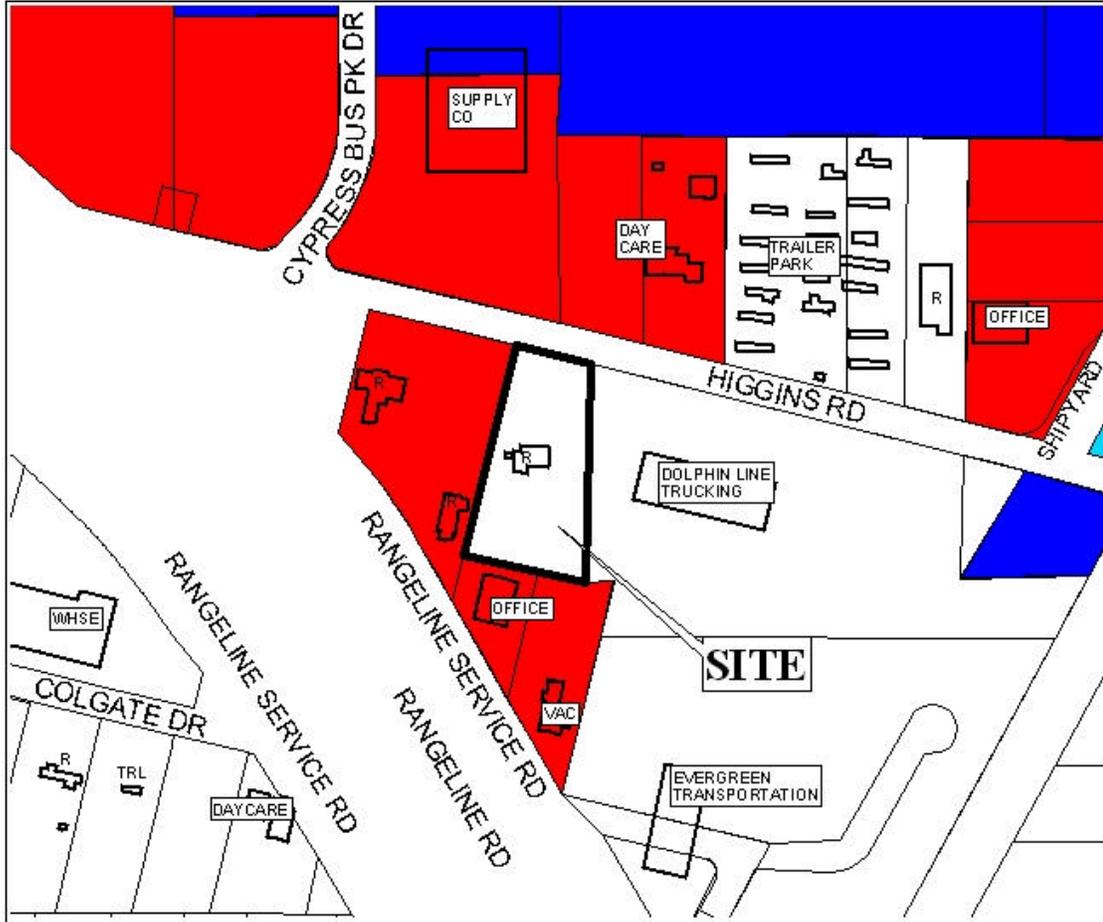


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APPLICANT Bayside Properties, L.L.C.
REQUEST Rezoning from R-1 to B-5



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



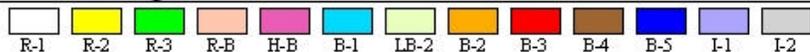
Located to the North of the site is a warehouse; to the East is a trucking company. Located to the South of the site is an office, and vacant building; to the West are single family residential dwellings.

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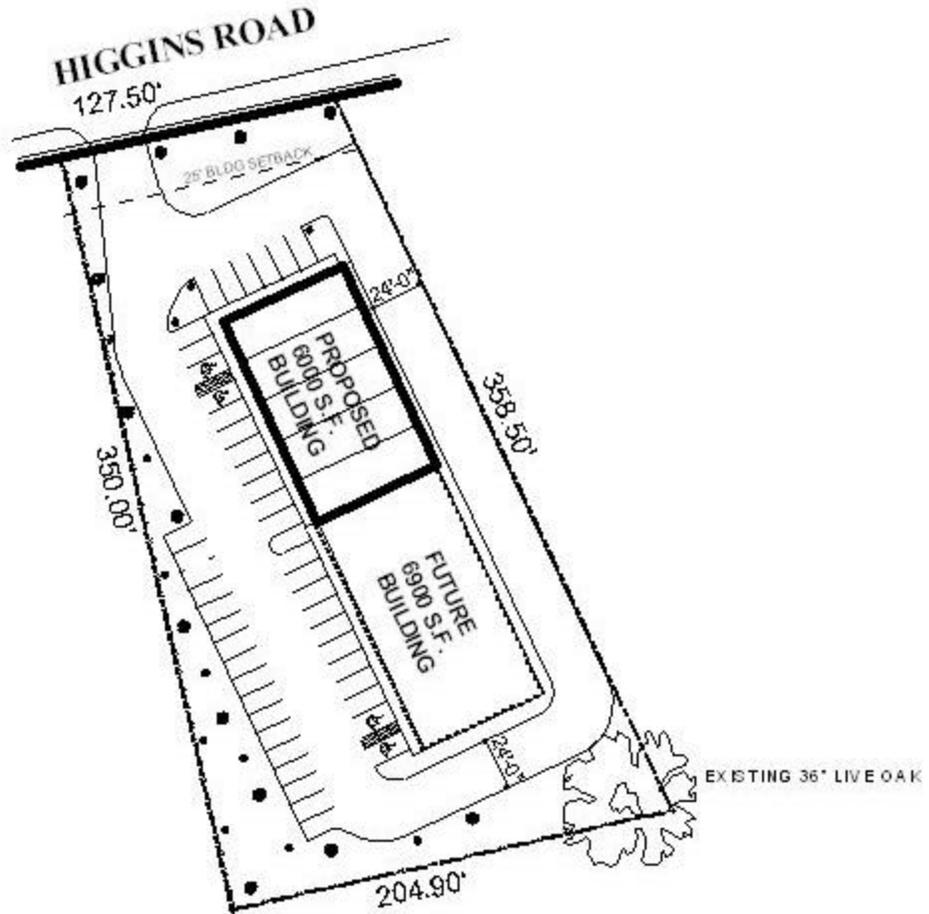
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LEGEND



SITE PLAN



The site is located on the South side of Higgins Road, 250' East of Rangeline Service Road. The plan illustrates the proposed building and parking, along with the future building.

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