

JOHN RICHARDSON FAMILY **DIVISION SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWSS Comments: MAWSS has **NO** water or sewer services available.

The plat illustrates the proposed 1-lot, 1.5± acre subdivision which is located at the North side of Pierce Creek Road, 780'± West of Dykes Road South, within the planning jurisdiction. The applicant states that the subdivision is served by county water and sewer. The purpose of this application is to create a legal lot of record from a single metes-and-bounds parcel. The property is developed with a single family residence.

The subject parcel was created in 2000, and there was an application for a 2-lot subdivision in 2000, that was approved in 2001, but not recorded. Therefore, the adjacent property should be included, or a letter should be submitted from the adjacent property owner stating that they do not wish to participate in the subdivision.

The proposed lot size is provided in square feet and acres, and would exceed the minimum required lot size in Section V.D.2. of the Subdivision Regulations. This information should be retained on the Final Plat, if approved.

It should be noted that the proposed Lot 1 does not meet the standards for width-to-depth ratio. Section V.D.3. of the Subdivision Regulations states that lot depth should not exceed 3.5 times the width of the lot at the building setback. As proposed, Lot 1 will be 134'± wide at the setback line and 485'± deep, resulting in a lot that is approximately 16' deeper than would normally be allowed. While there are no lots in the area that have been previously approved by the Planning Commission which exceed the width-to-depth ratio, because the current site is only slightly over the ratio, a waiver of Section V.D.3. may be appropriate.

The site is located on Pierce Creek Road, an unpaved minor road, is illustrated with an existing right-of-way of 60', making no dedications necessary.

The 25-foot minimum building setback is illustrated on the preliminary plat. If approved, the setback should be retained on the Final Plat.

As a means of access management, a note should be required on the Final Plat, if approved, stating that the development is limited to the existing curb cut, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

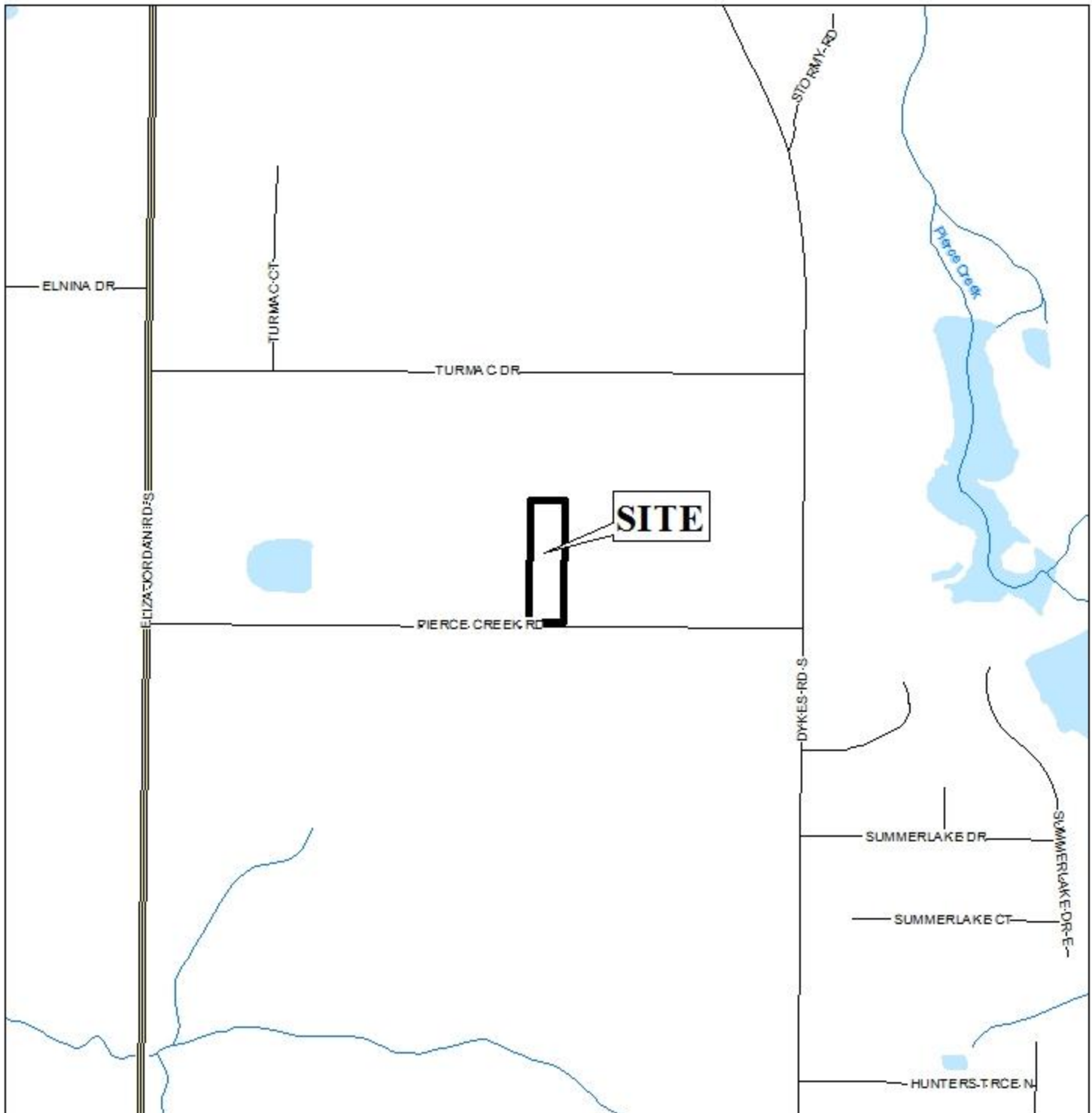
This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”* should be placed on the Final Plat.

Based upon the preceding, this application is recommended denial, subject to the following conditions:

- 1) the adjacent property (Parcel #: R022705210000052.002.) should be included in the subdivision, or a letter should be submitted from the adjacent property owner stating that they do not wish to participate.

LOCATOR MAP



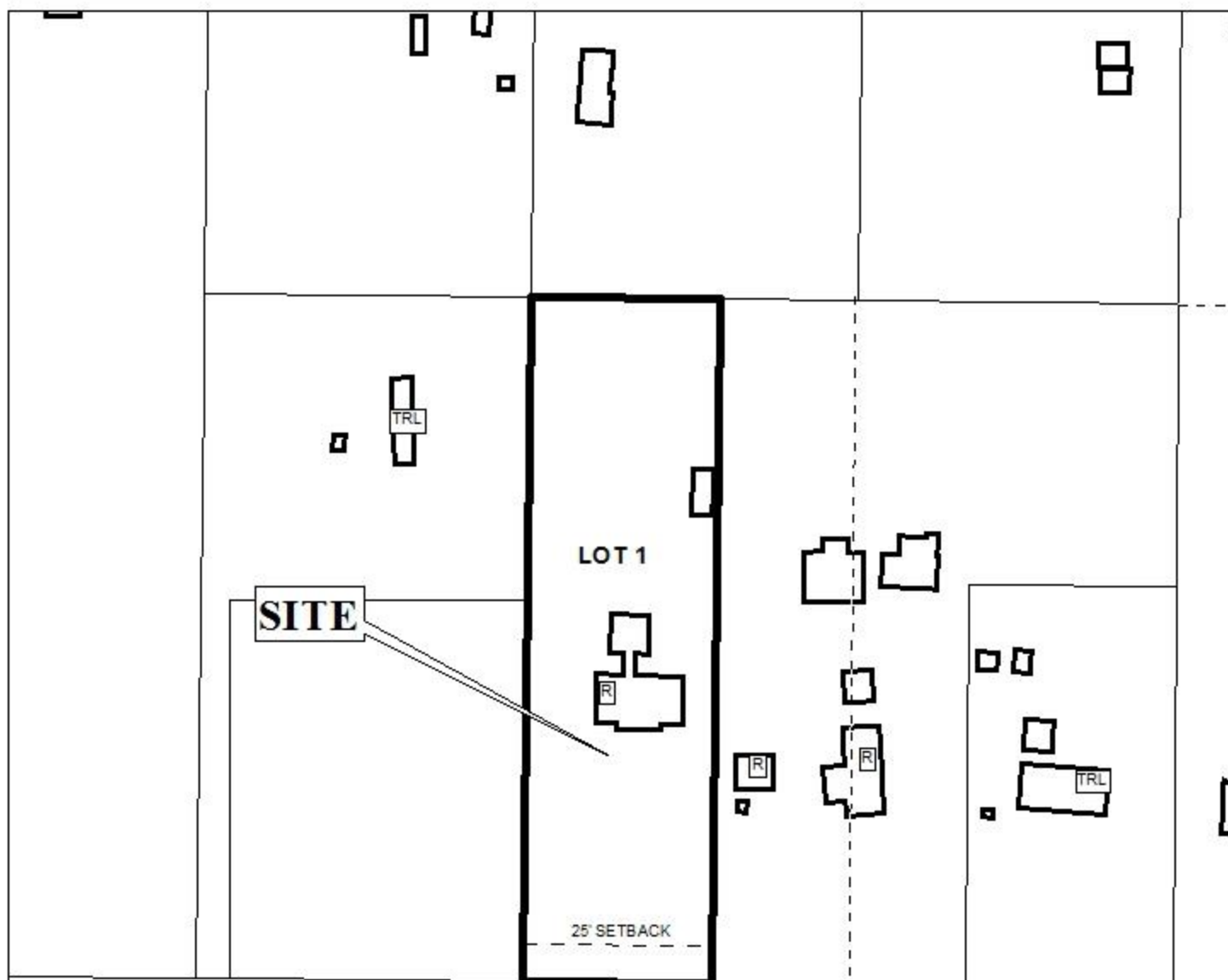
APPLICATION NUMBER 10 DATE January 15, 2015

APPLICANT John Richardson Family Division Subdivision

REQUEST Subdivision



JOHN RICHARDSON FAMILY DIVISION SUBDIVISION



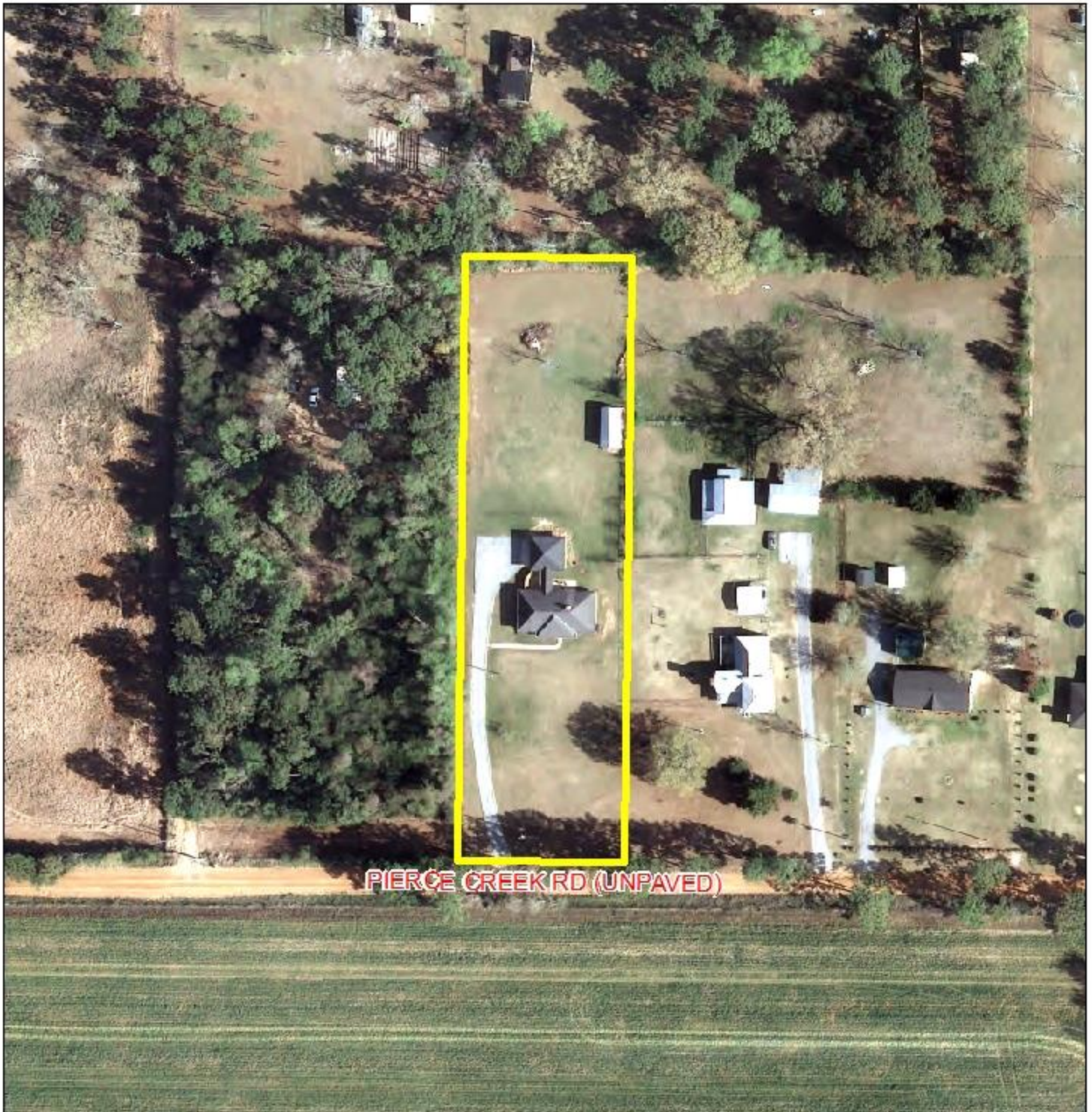
PIERCE CREEK RD (UNAPVED)

APPLICATION NUMBER 10 DATE January 15, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



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