

**PLANNING APPROVAL,
PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT**

Date: July 22, 2010

<u>NAME</u>	Saint Ignatius Parish Subdivision, Resubdivision of
<u>SUBDIVISION NAME</u>	Saint Ignatius Parish Subdivision, Resubdivision of
<u>LOCATION</u>	3650 Springhill Avenue (Northwest corner of Springhill Avenue and Tuthill Lane)
<u>CITY COUNCIL DISTRICT</u>	District 7
<u>PRESENT ZONING</u>	R-1, Single-Family Residence District
<u>AREA OF PROPERTY</u>	1 lot / 13.3 acres \pm
<u>CONTEMPLATED USE</u>	Planning Approval of the Master Plan for an existing Church and School in an R-1, Single-Family Residential District, for expansion of the site, Planned Unit Development approval to allow multiple buildings on a single building site, and Subdivision approval to create one legal lot.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	Before Plat will be approved for signature, Engineering Department will require certification from the engineer that there is an adequate and functioning detention system(s) for any impervious area added to the site since 1984. Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit, in addition to any required land disturbance permits. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status is to be given to the four Live Oak Trees along Spring Hill Avenue from East to West; 42", 54", 40", and 42" Live Oaks. Any work on or under these trees is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

Future development will require a revised landscape plan showing required trees for the entire school campus.

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is requesting Planning Approval of the Master Plan for an existing Church and School in an R-1, Single-Family Residential District, for expansion of the site, Planned Unit Development approval to allow multiple buildings on a single building site, and Subdivision approval to create one legal lot. Churches and private schools require Planning Approval when located in R-1 districts.

The applicant, the Archbishop of Mobile, proposes to expand the existing land area of the existing Saint Ignatius Church and School through the addition of an adjacent property: no new construction is proposed at this time. Information included with the applications indicates that the expanded area will be utilized for greenspace.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It is very important to note that the Planning Approval and PUD review are site plan specific; therefore any future changes to the overall site plan must be submitted for PUD and Planning Approval review. Additionally, if the scope of operations for the school is changed from what is approved by the Planning Commission, a new application for Planning Approval will be required.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The last Subdivision, Planning Approval and PUD approvals for the main site were granted at the November 16, 2000 meeting of the Planning Commission. The Master Plan approved at the November 2000 meeting included substantial additions to the site, of which only a few have been completed. The applications currently under consideration by the Planning Commission do not show any of the previously proposed buildings or parking areas that were never completed, thus approval of the applications at hand will replace the November 2000 Master Plan for the site.

The site fronts onto two minor streets, Tuthill Lane and Knowles Street, and Spring Hill Avenue, a proposed major street. The site also abuts two segments of an unnamed street or alley. Information on the preliminary plat indicates that the right-of-way for Tuthill Lane is adequate, but that the right-of-way for Knowles Street does not meet minimum requirements of 50-feet in width. It also appears that the right-of-way width of Spring Hill Avenue does not meet the minimum 100-foot width required by the Major Street Plan component of the Comprehensive Plan. Dedication along both Knowles Street and Spring Hill Avenue should be required for that portion of the site which has not yet been through the Subdivision process, including corner dedication at Knowles Street and Spring Hill Avenue.

No information was provided with the application indicating the number of classrooms, number of students, teaching stations or pew seats contained within the sanctuary. Any future application to the Planning Commission which proposes new construction must also include information regarding classrooms, teaching stations, number of students and pew seats.

The overall site has three curb-cuts onto Tuthill Lane, five curb-cuts onto Spring Hill Avenue, and no curb-cuts onto Knowles Street. The site should be limited to its existing curb-cuts, and any changes to existing curb-cuts must be approved by the Planning Section of Urban Development and Traffic Engineering, and comply with AASHTO standards. Access to the abutting unnamed street/alley should be denied, as should access to Knowles Street.

It should be pointed out that the property being brought into the main site has an existing wooden privacy fence. It appears that a portion of the fence is within the right-of-way for Spring Hill Avenue, and this will be exacerbated by the required dedication. Any new application to the Planning Commission for new development of the overall site should include plans to relocate the fence to meet all required setbacks.

The 25-foot minimum building setback line is not depicted on the plat or site plans. The plat and site plans should be revised to depict the 25-foot minimum building setback line from all public rights-of-way, and should reflect any required dedication.

The proposed use of the expanded area is greenspace. This implies that there is no active or dedicated use of the site other than perhaps casual use: the greenspace area cannot be used for parking or for play areas. If the intent of the application is in fact to utilize the greenspace for active recreational uses associated with the school, the application should be heldover so that the site plan can be revised to show required buffering, proposed site improvements, etc.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Any development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Planning Approval: The request is recommended approval, subject to the following conditions:

- 1) Revision of the plat and site plan to reflect dedication of right-of-way along Spring Hill Avenue (50-feet from centerline) and Knowles Street (25-feet from centerline), including a corner radius for that portion of the site not previously subdivided;
- 2) Revision of the plat and site plan to depict and label the 25-foot minimum building setback from all public rights-of-way;
- 3) Revision of the site plan to include a note stating that the greenspace will not be utilized for active school, playground or church related uses;
- 4) Placement of a note on the plat and site plan stating that the site is limited to the three existing curb-cuts onto Tuthill Lane, the five existing curb-cuts onto Spring Hill Avenue, denied access to Knowles Lane and the unnamed street/alleys abutting the site, with any changes to the existing curb-cuts to be approved by the Planning Section of Urban Development and Traffic Engineering, and to comply with AASHTO standards;
- 5) Compliance with Engineering comments (*Before Plat will be approved for signature, Engineering Department will require certification from the engineer that there is an adequate and functioning detention system(s) for any impervious area added to the site since 1984. Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit, in addition to any required land disturbance permits. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.*);
- 6) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the four Live Oak Trees along Spring Hill Avenue from East to West; 42", 54", 40", and 42" Live Oaks. Any work on or under these trees is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger. Future development will require a revised landscape plan showing required trees for the entire school campus.*);

- 7) Placement of a note on the plat and site plan stating that the existing wooden privacy fence located within the right-of-way for Spring Hill Avenue and Knowles Lane will be relocated to meet all required setbacks on any future plan submitted to the Planning Commission for review;
- 8) Placement of a note on the plat and site plan stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, prior to the issuance of any permits or land disturbance activities;
- 9) Submission of a revised Planning Approval site plan to the Planning Section of Urban Development prior to signing the final plat; and
- 10) Full compliance with all other municipal codes and ordinances.

Planned Unit Development: The request is recommended for approval, subject to the following conditions:

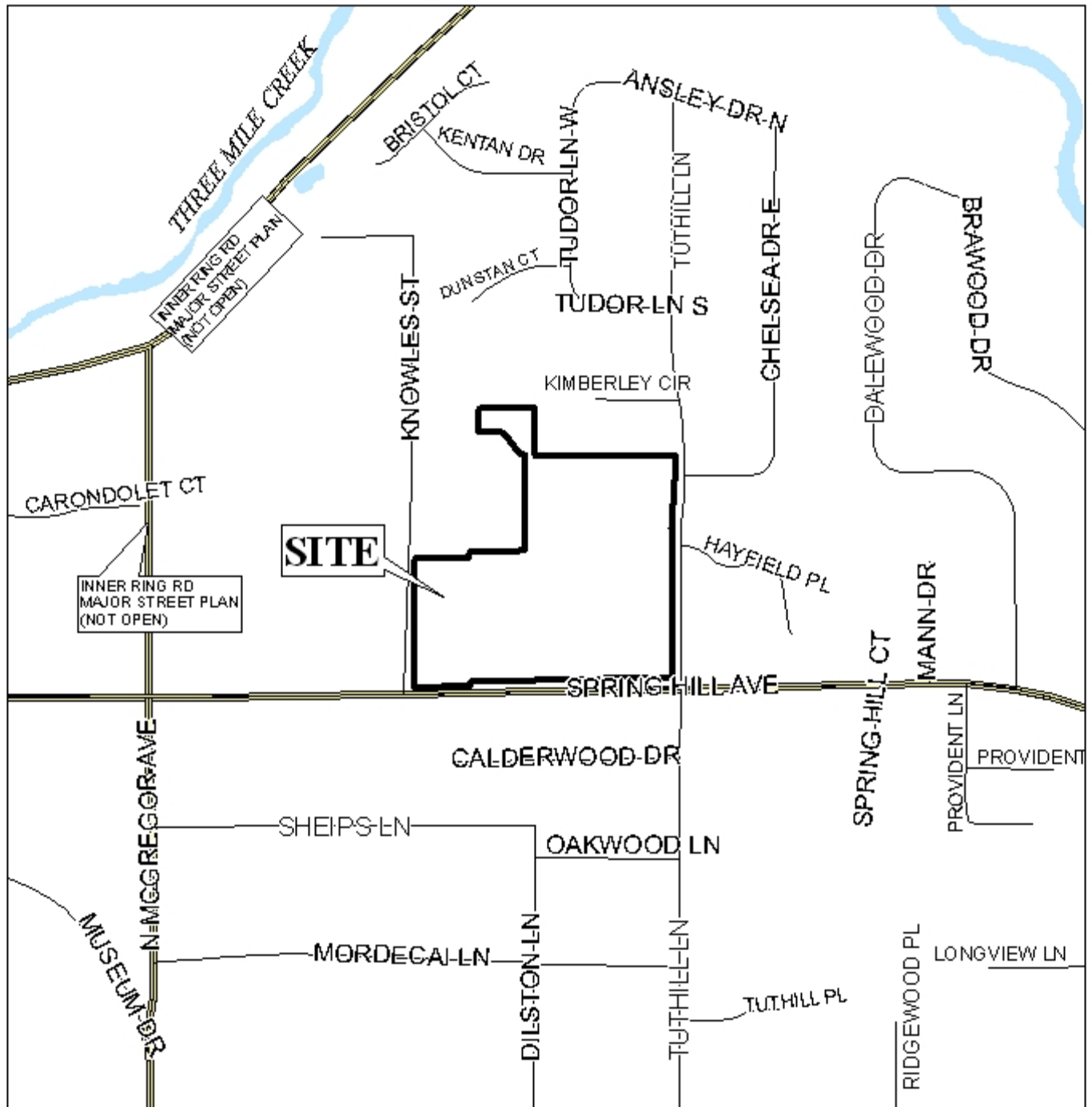
- 1) Revision of the plat and site plan to reflect dedication of right-of-way along Spring Hill Avenue (50-feet from centerline) and Knowles Street (25-feet from centerline), including a corner radius for that portion of the site not previously subdivided;
- 2) Revision of the plat and site plan to depict and label the 25-foot minimum building setback from all public rights-of-way;
- 3) Revision of the site plan to include a note stating that the greenspace will not be utilized for active school, playground or church related uses;
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- 7) Placement of a note on the plat and site plan stating that the existing wooden privacy fence located within the right-of-way for Spring Hill Avenue and Knowles Lane will be relocated to meet all required setbacks on any future plan submitted to the Planning Commission for review;

- 8) Placement of a note on the plat and site plan stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, prior to the issuance of any permits or land disturbance activities;
- 9) Submission of a revised PUD site plan to the Planning Section of Urban Development prior to signing the final plat and
- 10) Full compliance with all other municipal codes and ordinances.

Subdivision: The request is recommended for tentative approval, subject to the following conditions:

- 1) Revision of the plat and site plan to reflect dedication of right-of-way along Spring Hill Avenue (50-feet from centerline) and Knowles Street (25-feet from centerline), including a corner radius for that portion of the site not previously subdivided;
- 2) Revision of the plat and site plan to depict and label the 25-foot minimum building setback from all public rights-of-way;
- 3) Placement of a note on the plat and site plan stating that the site is limited to the three existing curb-cuts onto Tuthill Lane, the five existing curb-cuts onto Spring Hill Avenue, denied access to Knowles Lane and the unnamed street/alleys abutting the site, with any changes to the existing curb-cuts to be approved by the Planning Section of Urban Development and Traffic Engineering, and to comply with AASHTO standards;
- 4) Compliance with Engineering comments (*Before Plat will be approved for signature, Engineering Department will require certification from the engineer that there is an adequate and functioning detention system(s) for any impervious area added to the site since 1984. Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit, in addition to any required land disturbance permits. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.*);
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- 6) Placement of a note on the plat and site plan stating that the existing wooden privacy fence located within the right-of-way for Spring Hill Avenue and Knowles Lane will be relocated to meet all required setbacks on any future plan submitted to the Planning Commission for review;
- 7) Placement of a note on the plat and site plan stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, prior to the issuance of any permits or land disturbance activities; and
- 8) Submission of a revised PUD and Planning Approval site plan to the Planning Section of Urban Development prior to signing the final plat.

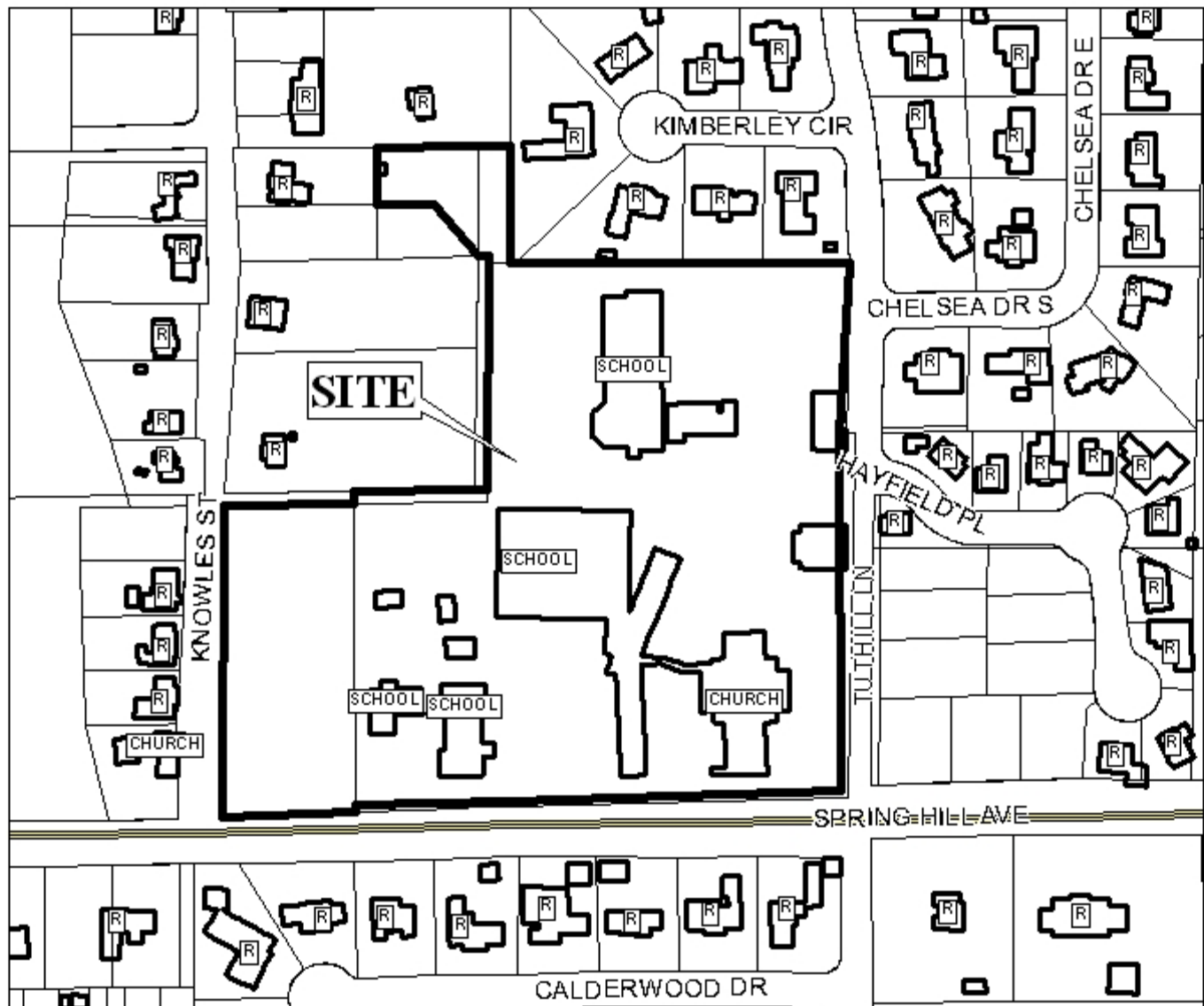
LOCATOR MAP



APPLICATION NUMBER 10,11&12 DATE July 22, 2010
 APPLICANT Saint Ignatius Parish Subdivision, Resubdivision of
 REQUEST Subdivision, Planning Approval, PUD



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



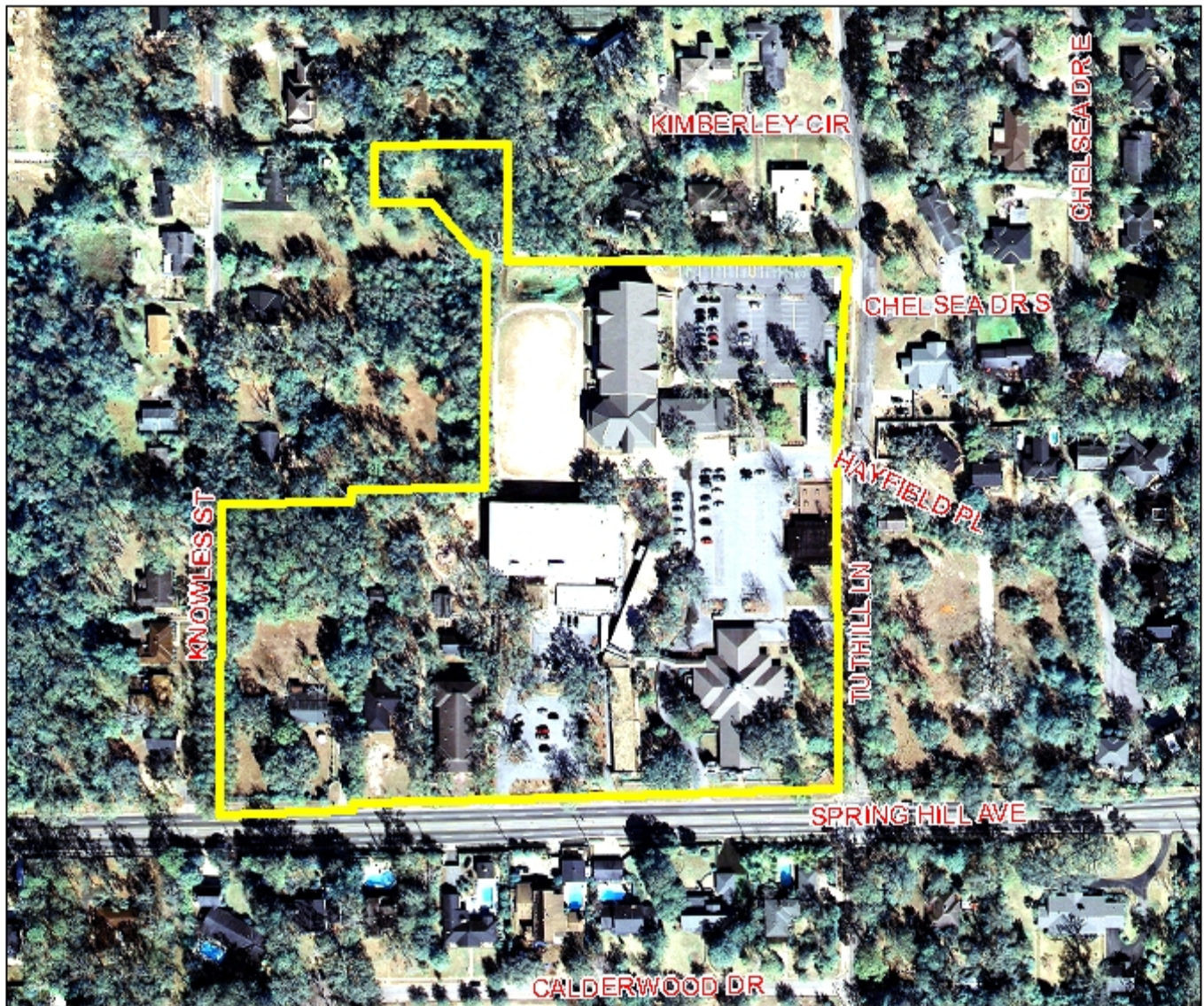
The site is surrounded by single family residential units.

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LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units.

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